


ADDENDUM TO BID DOCUMENTS

	ADDENDUM #01
	Project: Solano Community College District Building 200 Shade Structures and Sandbox Project Project #25-022
	Date: March 21, 2025

The following clarifications are provided based on questions received or changes in District requirements and must be added/considered when completing your bid proposal: Acknowledgement of receipt of this **ADDENDUM** is required on the Bid Form and Proposal. Please clearly note the addendum date and number.

ITEM:

ITEM NO. 1 – Updated Construction Drawings

Contractor shall develop their bid proposal using the updated drawings attached to this Addendum #01. The construction drawings attached, dated March 20, 2025, shall supersede the previously provided drawing set dated March 11, 2025.

ITEM NO. 2 – Revisions to Section 00 11 16 – Notice to Bidders

Revisions include adding a second mandatory pre-bid meeting date and time, and changing the bid due date from March 26, 2025, to March 27, 2025. Time and location bids are due has not changed, bids are still due by 2:00pm. If a contractor has attended the first mandatory pre-bid meeting held on 3/20/25, attendance to the second pre-bid meeting on 3/24/25 is not necessary. The following subsections in 00 11 16 – Notice to Bidders shall be revised as follows:

Subsection 6:

6. Sealed Formal Bids will be received until **2:00 p.m., Thursday, March 27, 2025**, at Solano Community College, 4000 Suisun Valley Road, Fairfield, California 94534, Building 1102, Kitchell Trailer, at or after which time bids will be opened and publicly read aloud. Any bid that is submitted after this time shall be non-responsive and returned to the bidder. Any claim by a bidder of error in its bid must be made in compliance with section 5100 et seq. of the Public Contract Code.

Subsection 9:

9. A **first** mandatory pre-bid conference and site visit will be held on March 20, 2025, at 12:30pm at 4000 Suisun Valley Road, Fairfield, California 94534, Building 200 (near main building entrance). **A second mandatory pre-bid meeting will be held on March 24, 2025 at 12:30pm. If a contractor has attended the first mandatory pre-bid meeting, attendance to the second meeting will not be mandatory.** Please see end of this section for map of pre-bid meeting location. As failure to attend or tardiness will render bid ineligible, we recommend all attendees arrive early to find meeting location well before start time.

ITEM NO. 3 – Revisions to Section 01 64 00 – Notice to Bidders

Revisions include clarification of Contractor's responsibility to protect owner-furnished shade structure material at storage location. The following subsections in 01 64 00 – Owner-Furnished Products shall be revised as follows:

Subsection 2.01.B.1.d.5:

- 5) Store materials and equipment until ready for installation and protect from loss and damage, **as necessary, including but not limited to, rental of temporary fencing to enclose and lock shade structure material at storage location.**

ITEM NO. 4 – Answer to Submitted Pre-Bid Question

QUESTION: We are reviewing the documents for the Building 200 project. I could not find anything that required us to be pre qualified or fill out the CUPCCAA form for this project. But on your website it does lead me to believe that we should be registered with the Community College to be able to win the award. Can you let me know if this is required?

ANSWER: No, pre-qualification or status on the District's CUPPCAA list is not required to bid on this project. Requirements to bid are having a valid Class A and/or Class B California Contractor's License, and current registration with the Department of Industrial Relations (DIR).

ITEM NO. 5 – Answer to Submitted Pre-Bid Question

QUESTION: What is the engineer's estimate for this project?

ANSWER: An engineer's estimate is not available for this project.

ITEM NO. 6 – Answer to Submitted Pre-Bid Question

QUESTION: Will children be present during construction? If so, are there Live Scan requirements for personnel working on this project?

ANSWER: When construction activities are occurring onsite, the children will be kept inside the main building. Contractor shall provide a schedule, and update regularly, for when construction activities onsite will occur. Upon being identified as the lowest apparent bidder on the bid due date, Contractor shall provide names of personnel that will be working onsite by 12:00pm on 3/28/25. All personnel named will need to schedule and undergo a Live Scan fingerprint background check at the Department of Safety Office, located on the main Fairfield campus (4000 Suisun Valley Road, Fairfield, CA, Building 1800B). A link will be provided to the Contractor to schedule each individual (Live Scans can only be scheduled on Tuesday afternoons, between 1:00pm and 3:30pm, and on Thursday and Friday mornings, between 9:00am and 11:30am, depending on open appointments/availability). Contractor personnel coming onsite to work, is contingent upon District's receipt of Live Scan results and approval from the District. Live Scan background checks typically take approximately two weeks for the results to be returned (but can take longer). Results of Live Scan checks and process outlined, shall not absolve Contractor of completing the project by 6/20/25, as required per bid documents.

ITEM NO. 7 – Answer to Submitted Pre-Bid Question

QUESTION: What is the anticipated construction start date, and what is the expected project duration?

ANSWER: Contract for successful bidder will be taken to the Governing Board for approval on April 9, 2025. Contractor shall execute and submit documents as described in Project Manual, including but not limited to, signed contracts, proof of insurance and fully executed Performance and Payment Bonds, by April 16, 2025. Upon approval of submitted documents, Contractor shall start construction. Project must be 100% complete by 6/20/25.

ITEM NO. 8 – Answer to Submitted Pre-Bid Question

QUESTION: Please confirm whether the owner will be providing the required materials for this project.

ANSWER: The District will not be providing all materials for this project. Owner-furnished material for the project will be limited to the major components of the shade structure only. All other material, such as, but not limited to, reinforcing steel and concrete, and material for minor site improvements shall be furnished and installed by the Contractor.



SOLANO

COMMUNITY COLLEGE

Fairfield Campus
4000 Suisun Valley Road
Fairfield, CA 94534
(707) 864-7000

Campus Police
(707) 580-6526
Building 1800B

www.solano.edu



LEGEND

- Parking Permit Dispenser
- Bus Stop
- Emergency Assembly Point
- Emergency Phone

PARKING

Lots 1-7: Students and Visitors
Lots A-F: Faculty and Staff

600 Administration	200 Children's Programs Center	600 Finance & Personnel Office	800 Nursing	2200 Swimming Pool
400 Admission & Records	1500 Computer Science	400 Financial Aid	1200 Performing Arts/Theatre	400 Transfer Center
400 Assessment Center	100 Contract Education	1300 Fine Arts	1700 Physical Education	100 Tutoring Center
600 Boardroom	1600 Cosmetology	100 Foundation	600 President's Office	2700 Veterans Resource Center
1400 Bookstore	400 Counseling	1000 Horticulture	2600 Restrooms	600 Vice Presidents' Offices
500 Business	1900 Deliveries/Receiving Warehouse	700 Humanities	300 Science/ECHS	100 Workforce Development
1400 Cafeteria	400 Disability Services Program	400 Information	2700 Science	
400 CalWORKs	300A ECHS	100 Library	700 Social Science	
1800 Campus Police	300B ECHS	300 Mailroom	2500 Stadium	
400 CARE Program	1500 Engineering	1900 Maintenance	1400 Student Center	
1800 Career Technical Education	400 EOPS	1500 Math	1400 Student Health Services	
400 Career & Employment Services	900 Faculty Offices	1500 MESA Program	400 Student Services	

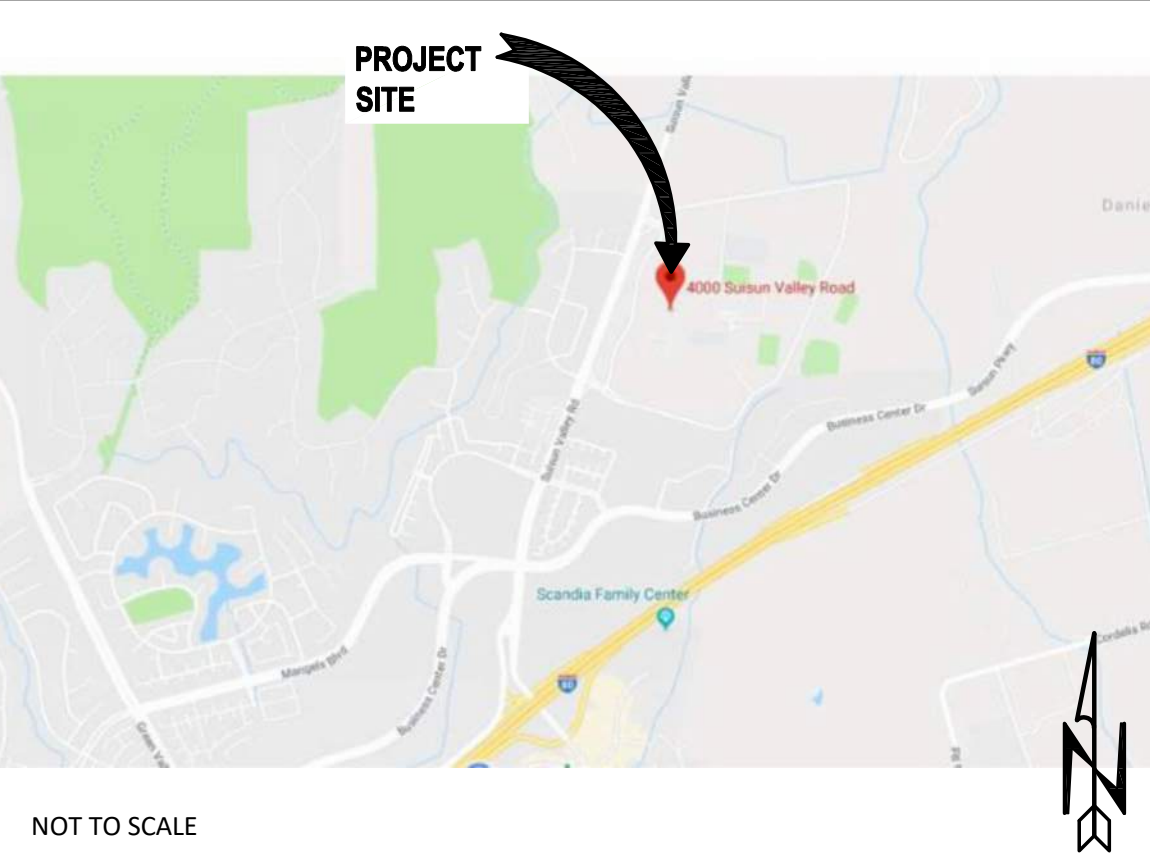
ABBREVIATIONS LIST

A:	E:	H:	P:	T:
AND ANCHOR BOLT ASPHALT CONCRETE AIR CONDITIONING ACCESSIBLE ACOUSTICAL AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR AGGREGATE ALUMINUM APPROXIMATE ARCHITECT(URAL)	E EAST EXISTING EA E.D.F. F FOUNTAIN E.F. EXHAUST FAN E.J. EXPANSION JOINT ELEC. ELECTRICAL ELEV. ELEVATION EMER. EMERGENCY ENCL. ENCLOSURE E.P. ELECTRICAL PANEL EQ. EQUAL EQUIP. EQUIPMENT E.W. EACH WAY EXPO. EXP. EXT.	H.B. HOSE BIB H.C. HOLLOW CORE H.DWD. HDBD. HDWE. H.M. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR HT. HEIGHT I-J-K-L: INSIDE DIAMETER I.E. INVERT ELEVATION ISA INTERNATIONAL SYMBOL OF ACCESSIBILITY INSULATION INTERIOR J.B. JUNCTION BOX J.H. JOIST HANGER JT. JOINT KIT. KITCHEN LAB. LABORATORY LAM. LAMINATE LAV. LAVATORY LIGHT L.H. LEFT HAND M: MAXIMUM M.C. MECH. MECHANICAL MEMB. MEMBRANE MFR. MANUFACTURER M.H. MANHOLE MIN. MINIMUM MISC. MISCELLANEOUS M.O. MASONRY OPENING MTL. METAL N: NORTH (N) NEW N.I.C. NOT IN CONTRACT NOM. NOMINAL N.T.S. NOT TO SCALE O: ON CENTER O.D. OUTSIDE DIAMETER O.H. OVERHEAD OR OVERHANG OPNG. OPENING OPP. OPPOSITE O/ OVER	PART. PARTITION P.B. PANIC BAR P.L. PROPERTY LINE P.LAM. PLASTIC LAMINATE PLAS. PLASTER PLYWD. PLYWOOD P.M. PRESSED METAL P.O.C. POINT OF CONNECTION P.AIR. PAIR PROP. PROPERTY P.S.F. POUNDS PER SQUARE FOOT P.S.I. POUNDS PER SQUARE INCH P.T. PRESSURE TREATED Q-R QUARRY TILE R. RISER RAD. RADIUS R.D. ROOF DRAIN R.E. RIM ELEVATION REBAR REINFORCING BAR REFERENCE REQ'D. REQUIRED RM. ROOM R.O. ROUGH OPENING RWD. REDWOOD R.W.L. RAIN WATER LEADER S: SOUTH S.B. SPLASH BLOCK S.D. STORM DRAIN SEC. SECURITY S.C. SOLID CORE SCHD. SCHEDULE SECT. SECTION SHT. SHEET SHTG. SHEATHING SIM. SIMILAR S.M. SHEET METAL S.M.S. SHEET METAL SCREW SPEC'S. SPECIFICATIONS SQ. SQUARE S.STL. STAINLESS STEEL STD. STANDARD STL. STEEL STRUCT. STRUCTURAL S.T.S.M.S. SELF TAPPING SHEET METAL SCREW SANITARY SEWER S/S SERVICE SINK SUSP. SUSPENDED SYM. SYMMETRICAL	T.O.C. TOP OF CURB T&G TOUNGE & GROOVE T.O.C. TOP OF CONCRETE T.O.F. TOP OF FRAMING T.O.S. TOP OF STEEL TOT. TOTAL T.O.W. TOP OF WALL T.P. TOP OF PAVING T.S. STRUCTURAL TUBE TYP. TYPICAL U: UNLESS NOTED OTHERWISE UNFINISHED UNF.
B: BOARD AND BATTEN BD. BOARD BLDG. BUILDING BLK'G. BLOCKING BM. BEAM B.M. BENCH MARK BTMM. BOTTOM B.U.R. BUILT UP ROOFING	EXP. EXP. EXT. F: FIRE ALARM F.B. FLAT BAR F.C. FRAMING CLIP F.D. FLOOR DRAIN FDN. FOUNDATION F.F. FINISH FACE F.E. FIRE EXTINGUISHER F.L. FLOW LINE FLR. FLOOR F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.M. FACE OF MASONRY F.O.W. FACE OF WALL F.P. FIREPROOF F.R.P. FIBERGLASS REINFORCED PANEL F.O.S. FACE OF STUD F.S.D. FIRE SMOKE DAMPER FT. FOOR OR FEET FTG. FOOTING F.V. FIELD VERIFY	INSUL. INT. J.B. JUNCTION BOX J.H. JOIST HANGER KIT. KITCHEN LAB. LABORATORY LAM. LAMINATE LAV. LAVATORY LT. LIGHT L.H. LEFT HAND M: MAXIMUM M.C. MECH. MECHANICAL MEMB. MEMBRANE MFR. MANUFACTURER M.H. MANHOLE MIN. MINIMUM MISC. MISCELLANEOUS M.O. MASONRY OPENING MTL. METAL N: NORTH (N) NEW N.I.C. NOT IN CONTRACT NOM. NOMINAL N.T.S. NOT TO SCALE O: ON CENTER O.D. OUTSIDE DIAMETER O.H. OVERHEAD OR OVERHANG OPNG. OPENING OPP. OPPOSITE O/ OVER	Q-T QUARRY TILE R. RISER RAD. RADIUS R.D. ROOF DRAIN R.E. RIM ELEVATION REBAR REINFORCING BAR REFERENCE REQ'D. REQUIRED RM. ROOM R.O. ROUGH OPENING RWD. REDWOOD R.W.L. RAIN WATER LEADER S: SOUTH S.B. SPLASH BLOCK S.D. STORM DRAIN SEC. SECURITY S.C. SOLID CORE SCHD. SCHEDULE SECT. SECTION SHT. SHEET SHTG. SHEATHING SIM. SIMILAR S.M. SHEET METAL S.M.S. SHEET METAL SCREW SPEC'S. SPECIFICATIONS SQ. SQUARE S.STL. STAINLESS STEEL STD. STANDARD STL. STEEL STRUCT. STRUCTURAL S.T.S.M.S. SELF TAPPING SHEET METAL SCREW SANITARY SEWER S/S SERVICE SINK SUSP. SUSPENDED SYM. SYMMETRICAL	V: VINYL COMPOSITION TILE V.C.F. VINYL COATED FABRIC VEN. VENDER VERT. VERTICAL V.T.B. VINYL TARK BOARD V.W.C. VINYL WALL COVERING W: WITH W.C. WATER CLOSET WD. WOOD W.H. WATER HEATER W.M. WATERPROOF MEMBRANE W/O WITHOUT W.R. WATER RESISTANT WT. WEIGHT W.W.F. WELDED WIRE FABRIC
C: CATCH BASIN C.I. CAST IRON C.J. CONSTRUCTION JOINT CLF. CHAIN LINK FENCE CLG. CEILING CLR. CLEAR CLKG. CAULKING CNTR. COUNTER C.O. CLEAN OUT COL. COLUMN CONC. CONCRETE COND. CONDITION CONST. CONSTRUCTION CONT. CONTINUOUS C.O.T.G. CLEAN OUT TO GRADE CA. CONTROL POINT CTSK. COUNTERSUNK	F.A. FIRE ALARM F.B. FLAT BAR F.C. FRAMING CLIP F.D. FLOOR DRAIN FDN. FOUNDATION F.F. FINISH FACE F.E. FIRE EXTINGUISHER F.L. FLOW LINE FLR. FLOOR F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.M. FACE OF MASONRY F.O.W. FACE OF WALL F.P. FIREPROOF F.R.P. FIBERGLASS REINFORCED PANEL F.O.S. FACE OF STUD F.S.D. FIRE SMOKE DAMPER FT. FOOR OR FEET FTG. FOOTING F.V. FIELD VERIFY	MAX. MAXIMUM M.C. MECH. MECHANICAL MEMB. MEMBRANE MFR. MANUFACTURER M.H. MANHOLE MIN. MINIMUM MISC. MISCELLANEOUS M.O. MASONRY OPENING MTL. METAL N: NORTH (N) NEW N.I.C. NOT IN CONTRACT NOM. NOMINAL N.T.S. NOT TO SCALE O: ON CENTER O.D. OUTSIDE DIAMETER O.H. OVERHEAD OR OVERHANG OPNG. OPENING OPP. OPPOSITE O/ OVER	S: SOUTH S.B. SPLASH BLOCK S.D. STORM DRAIN SEC. SECURITY S.C. SOLID CORE SCHD. SCHEDULE SECT. SECTION SHT. SHEET SHTG. SHEATHING SIM. SIMILAR S.M. SHEET METAL S.M.S. SHEET METAL SCREW SPEC'S. SPECIFICATIONS SQ. SQUARE S.STL. STAINLESS STEEL STD. STANDARD STL. STEEL STRUCT. STRUCTURAL S.T.S.M.S. SELF TAPPING SHEET METAL SCREW SANITARY SEWER S/S SERVICE SINK SUSP. SUSPENDED SYM. SYMMETRICAL	W: WITH W.C. WATER CLOSET WD. WOOD W.H. WATER HEATER W.M. WATERPROOF MEMBRANE W/O WITHOUT W.R. WATER RESISTANT WT. WEIGHT W.W.F. WELDED WIRE FABRIC
D: DOUBLE DRINKING FOUNTAIN D.F. DEPARTMENT DTL. DETAIL D.I. DROP INLET DIAG. DIAGONAL DIM. DIMENSION DN. DOWN DR. DOOR D.S. DOWN SPOUT D.S.P. DRY STANDPIPE DWG. DRAWING	GA. GAUGE GALV. GALVANIZED GENERAL CONTRACTOR G.I. GALVANIZED IRON GLU-LAM GLUE LAMINATE GND. GROUND GYP. BD. GYPSUM WALLBOARD	OBS. OBSCURE O.C. ON CENTER O.D. OUTSIDE DIAMETER O.H. OVERHEAD OR OVERHANG OPNG. OPENING OPP. OPPOSITE O/ OVER	S: SOUTH S.B. SPLASH BLOCK S.D. STORM DRAIN SEC. SECURITY S.C. SOLID CORE SCHD. SCHEDULE SECT. SECTION SHT. SHEET SHTG. SHEATHING SIM. SIMILAR S.M. SHEET METAL S.M.S. SHEET METAL SCREW SPEC'S. SPECIFICATIONS SQ. SQUARE S.STL. STAINLESS STEEL STD. STANDARD STL. STEEL STRUCT. STRUCTURAL S.T.S.M.S. SELF TAPPING SHEET METAL SCREW SANITARY SEWER S/S SERVICE SINK SUSP. SUSPENDED SYM. SYMMETRICAL	U: UNLESS NOTED OTHERWISE UNFINISHED UNF.

SYMBOLS LEGEND

	CONCRETE		WOOD FRAMING (CONT. MEMBER)		SECTION NUMBER		REVISION NUMBER
	CONCRETE BLOCK		WOOD FRAMING (BLOCKING)		SHEET WHERE SECTION IS DRAWN		MATCH LINE
	A.C. PAVING		WOOD MEMBER (FINISHED)		DETAIL NUMBER		DATUM, WORK OR CONTROL NUMBER
	CERAMIC TILE OR BRICK		INSULATION		LOCATION NUMBER		ANGLE
	SAND MORTAR OR PLASTER		ROOM NUMBER		SHEET WHERE ENLARGED PLAN IS DRAWN		DIAMETER OR ROUND
	AGGREGATE		WINDOW TYPE		ELEVATION NUMBER		PERPENDICULAR
	EARTH		DOOR NUMBER		SHEET WHERE ELEVATION IS DRAWN		POUND OR NUMBER
	METAL		GRID LINE/NUMBER		EQUIPMENT NUMBER		CENTERLINE
	PLYWOOD		GRID CENTER LINE/NUMBER		PARTITION TYPE		PLATE OR PROPERTY LINE
	GYPSUM BOARD				KEYNOTE		
	GLASS						

VICINITY MAP



NOT TO SCALE

OWNER

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PC MANUFACTURER

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(530) 410-5436
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NOTE

THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE CONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS.

SHOULD ANY CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE THESE DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CONSTRUCTION CHANGE DOCUMENT, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS DETAILING AND SPECIFYING THE REQUIRED WORK, SHALL BE SUBMITTED TO AND APPROVED BY DIVISION OF THE STATE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

INSPECTOR

A PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DIVISION OF THE STATE ARCHITECT SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24, CCR. CLASS 2 INSPECTOR REQUIRED.

DEFERRED APPROVAL

- GENERAL CONTRACTOR SHALL IMMEDIATELY UPON NOTICE OF SELECTION, PREPARE A SITE SAFETY PLAN (SSP) IN ACCORDANCE WITH THE REQUIREMENTS OF CFC CHAPTER 33. THIS SSP SHALL BE REVIEWED BY THE LOCAL FIRE AUTHORITY FOR APPROVAL AND DELIVERED TO THE A.O.R. FOR SUBMISSION TO DSA PRIOR TO MOBILIZATION OR THE START OF ANY CONSTRUCTION.

GENERAL NOTES

- ALL WORK IS NEW UNLESS SPECIFICALLY NOTED AS EXISTING. ALL WORK SHALL BE BY G.C. UNLESS SPECIFICALLY NOTED BY OWNER, BY OTHERS, OR BY N.I.C.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO HIS BID TO DETERMINE ACTUAL JOB SITE CONDITIONS AND REQUIRED EXTENT OF WORK FOR THIS PROJECT.
- CONTRACTOR SHALL VERIFY SOLANO COMMUNITY COLLEGE DISTRICT (S.C.C.D.) REQUIREMENTS FOR WORK HOURS, ETC. WITH S.C.C.D. PROJECT MANAGER PRIOR TO BIDDING AND COMMENCEMENT OF WORK. CONTRACTOR SHALL COMPLY WITH ALL S.C.C.D. REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE A JOB SITE PHONE & EMAIL WITHIN 5 WORKING DAYS AND INFORM ARCHITECT OF PHONE NUMBER AT CONSTRUCTION KICK-OFF MEETING. G.C. SHALL MAINTAIN A COMPUTER W/ EMAIL CAPABILITIES ON SITE AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND NOTING ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS PRIOR TO BIDDING THE PROJECT. CONTRACTOR SHALL CONTACT ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH RELATED WORK. OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR CORRECTIONS AT NO EXTRA COST TO OWNER.
- G.C. SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL FINISH MATERIALS & EQUIPMENT AS SPECIFIED HEREIN. ANY DEVIATION IN COST DUE TO SHIPPING DELAYS, MATERIAL UPGRADES, SHALL BE BORN BY THE G.C. ALL MATERIALS NOT IDENTIFIED AS PROBLEMS PRIOR TO BID, SHALL BE THE RESPONSIBILITY OF THE G.C. TO SUPPLY AS NOTED ON THE BID FORM.
- ALL DEMOLITION IS INCLUDED IN THE BASE BID. CONTRACTOR SHALL PROVIDE ALL DEMOLITION NECESSARY TO COMPLETE ALL NEW WORK AS INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL ADJACENT WORK AND SHALL COORDINATE WITH ALL OTHER TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK AND FOR THE STORAGE OF THEIR MATERIAL.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND QUANTITIES OF ITEMS TO BE REMOVED/REPLACED OR TO BE REINSTALLED PRIOR TO SUBMITTAL OF BID. G.C. SHALL NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO THE BID DUE DATE FOR FURTHER CLARIFICATION - AS DEFINED IN BID INSTRUCTIONS.
- G.C. WILL BE HELD RESPONSIBLE FOR COMPLETION OF ENTIRE WORK IN A MANNER/INTENT FOR THIS TYPE OF PROJECT REGARDLESS OF QUANTITIES SHOWN IN PLANS
- ANY EXISTING ITEMS SHOWN WITHOUT NOTATION FOR REMOVAL SHALL BE PROTECTED THROUGHOUT DEMOLITION AND RENOVATIONS. G.C. WILL BE REQUIRED TO REPLACE ANY/ALL ITEMS TO REMAIN THAT ARE DAMAGED BY WORK AT NO ADDITIONAL COST TO S.C.C.D. AND ALSO AT A QUALITY LEVEL EQUAL TO OR EXCEEDING THE ORIGINAL CONDITIONS.
- SEE ALSO ENGINEERED DRAWINGS FOR FULL EXTENT OF THE DEMOLITION WORK.
- ITEMS SHOWN TO BE REMOVED SHALL BE DISPOSED OF PROPERLY BY THE G.C. UNLESS OTHERWISE NOTED.
- CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY SECTION 4-338, PART 1, TITLE 24, CCR.
- SUBSTITUTION OF PRODUCTS OR CONSTRUCTION PROCESS WHICH AFFECT THE STRUCTURAL SAFETY, FIRE AND LIFE-SAFETY, OR ACCESSIBILITY OF THIS PROJECT SHALL BE SUBMITTED TO DSA FOR REVIEW AND APPROVAL AS AN ADDENDUM OR CONSTRUCTION CHANGE DOCUMENT.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.

OWNER

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SOLANO COMMUNITY COLLEGE SHADE STRUCTURE REPLACEMENT @ BUILDING #200

4000 SUISUN VALLEY ROAD FAIRFIELD, CA 94534

PROJECT CODE DATA

DSA NUMBERS	APPLICATION #02-123096 FILE #48-C1
CODE	2022 CBC
CONSTRUCTION SHALL COMPLY WITH TITLE 24, CALIFORNIA CODE REGULATIONS, INCLUDING THE FOLLOWING:	
2022 CALIFORNIA ADMINISTRATIVE CODE, CCR, TITLE 24, PART 1 2022 CALIFORNIA BUILDING CODE, VOL. 1 & 2, CCR, TITLE 24, PART 2 2022 CALIFORNIA FIRE CODE, CCR, TITLE 24, PART 9 2022 CALIFORNIA EXISTING BUILDING CODE, CCR, TITLE 24, PART 10 STATE FIRE MARSHAL REGULATIONS, CCR, TITLE 19, PUBLIC SAFETY PROJECT USES PROVISIONS OF DSA IR 31-1 FOR DESIGN.	
SHADE STRUCTURE CLASSIFICATIONS:	
OCCUPANCY CLASSIFICATION AND USE:	E
BUILDING CONSTRUCTION TYPE:	IIIB
NUMBER OF STORIES:	ONE STORY
SHADE STRUCTURE AREA IN SQUARE FEET:	
EACH SHADE STRUCTURE AREA:	224 SF TOTAL 896 SF
FIRE SPRINKLERED:	NO
FIRE ALARM:	NO
YEAR BUILDING WAS CONSTRUCTED:	2025
IS THE BLDG. IN A HIGH FIRE HAZARD SEVERITY ZONE:	NO
ALL CONSTRUCTION AND DEMOLITION SHALL COMPLY WITH CFC CHAPTER 33	
ORIGINAL CONSTRUCTION OF BUILDING #200 CHILD CARE/DEVELOPMENT FACILITY = 1991 UBC	
BUILDING CONSTRUCTION TYPE:	N-V
OCCUPANCY CLASSIFICATION AND USE:	E-3
BUILDING AREA:	9,562 SQ. FT. EXISTING
OCCUPANCY CLASSIFICATION AND COUNT:	CLASSROOM @ 1/20 = 479
OCCUPANCY PER LICENSE REQ'MTS:	68 STUDENTS & 36 STAFF = 104

SCOPE OF WORK

- PROJECT SCOPE:
- INSTALL (4) 14'x17' 2-POST METAL SHADE STRUCTURES PER PC #02-121474
 - INSTALL CONCRETE FOUNDATIONS FOR SHADE STRUCTURES.
 - PROVIDE CONCRETE DEMOLITION AND REPLACEMENT OF CONCRETE PAVING AND SANDBOX WALLS AS REQUIRED FOR ACCESS TO SHADE STRUCTURE FOUNDATION AREAS.
 - PROVIDE SITE ACCESSIBILITY INTO (E) SAND BOXES.
 - PROVIDE CONCRETE CURBS AT NEW SAND BOX.
- ACCESS COMPLIANCE REQUIREMENTS:
- UPGRADE PARKING STALL STRIPPING TO CURRENT CODE.
 - UPGRADE ENTRANCE TO BUILDING FOR COMPLIANCE WITH 2022 CBC 11B REQUIREMENTS.
 - UPGRADE RESTROOM SERVING AREA OF WORK FOR COMPLIANCE WITH 2022 CBC 11B REQUIREMENTS.

THE PROJECT COST ESTIMATE IS BELOW THE VALUATION THRESHOLD AS DETERMINED BY DSA UNDER THE 2022 CALIFORNIA BUILDING CODE CHAPTER 2 DEFINITION OF VALUATION THRESHOLD. AS SUCH THE SCOPE OF WORK IS DEFINED ABOVE UNDER "PROJECT SCOPE". SCOPE TO PROVIDE AND ADDITIONAL +/- 20% OF THE PROJECT COST TO COMPLY WITH CA ACCESS COMPLIANCE IS DESCRIBED UNDER "ACCESS COMPLIANCE REQUIREMENTS" ABOVE.

ALL CONSTRUCTION AND DEMOLITION SHALL BE IN ACCORDANCE WITH CHAPTER 33 OF THE CBC AND CFC, AND THE WRITTEN SITE SAFETY PLAN.

SHEET INDEX - GENERAL CONTRACTOR

ARCHITECTURAL	
A0	COVER SHEET
AS1	OVERALL SITE PLAN
ASD1	SHADE STRUCTURE SITE DEMO
AS1.1	ENLARGED SITE PLAN & DETAILS
AS1.2	ENLARGED SITE PLANS
A1.0	REFERENCE FLOOR PLAN BUILDING 200
AD1	DEMOLITION FLOOR PLANS
A1.1	ENLARGED RESTROOM PLANS
A3.0	SECTIONS AND DETAILS
A3.1	DETAILS
SHEETS	= 10

TOTAL GC SHEETS = 10
TOTAL PC DWGS = 4
TOTAL SHEETS WITH PC DWGS = 14

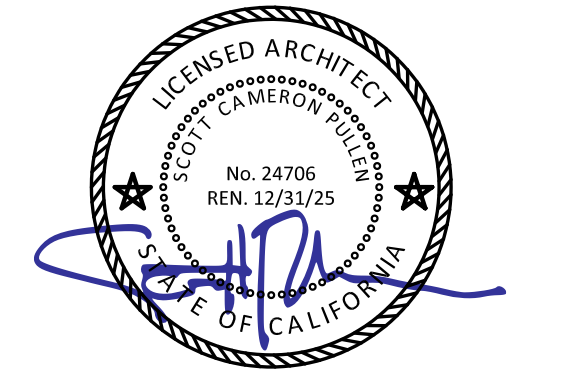
PC 02-121474 SHADE STRUCTURE SHEET INDEX

S1	FOUNDATION PLAN, GENERAL NOTES, DETAILS
S2	ROOF FRAMING PLANS
S3	SECTION, TYPICAL ELEVATION, DETAILS
S4	SECTION, TYPICAL ELEVATION, DETAILS

TOTAL PC SHEETS = 4

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DSA #02-123096

FILE #48-C1

SHADE STRUCTURE REPLACEMENT

SOLANO COMMUNITY
COLLEGE

4000 SUISUN VALLEY RD.
FAIRFIELD, CA 94534

DSA SET

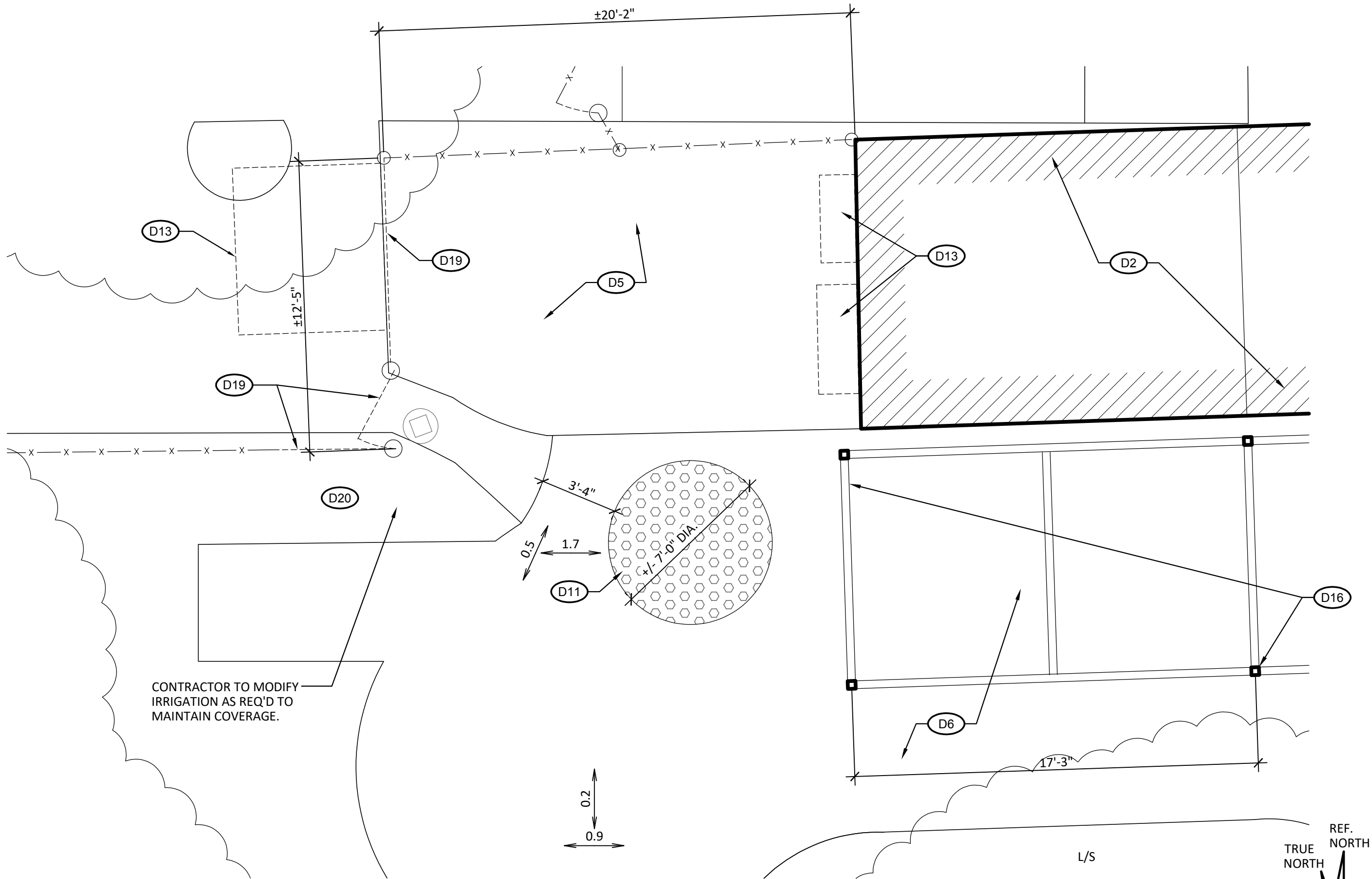
REVISIONS

NO.	DESCRIPTION	DATE
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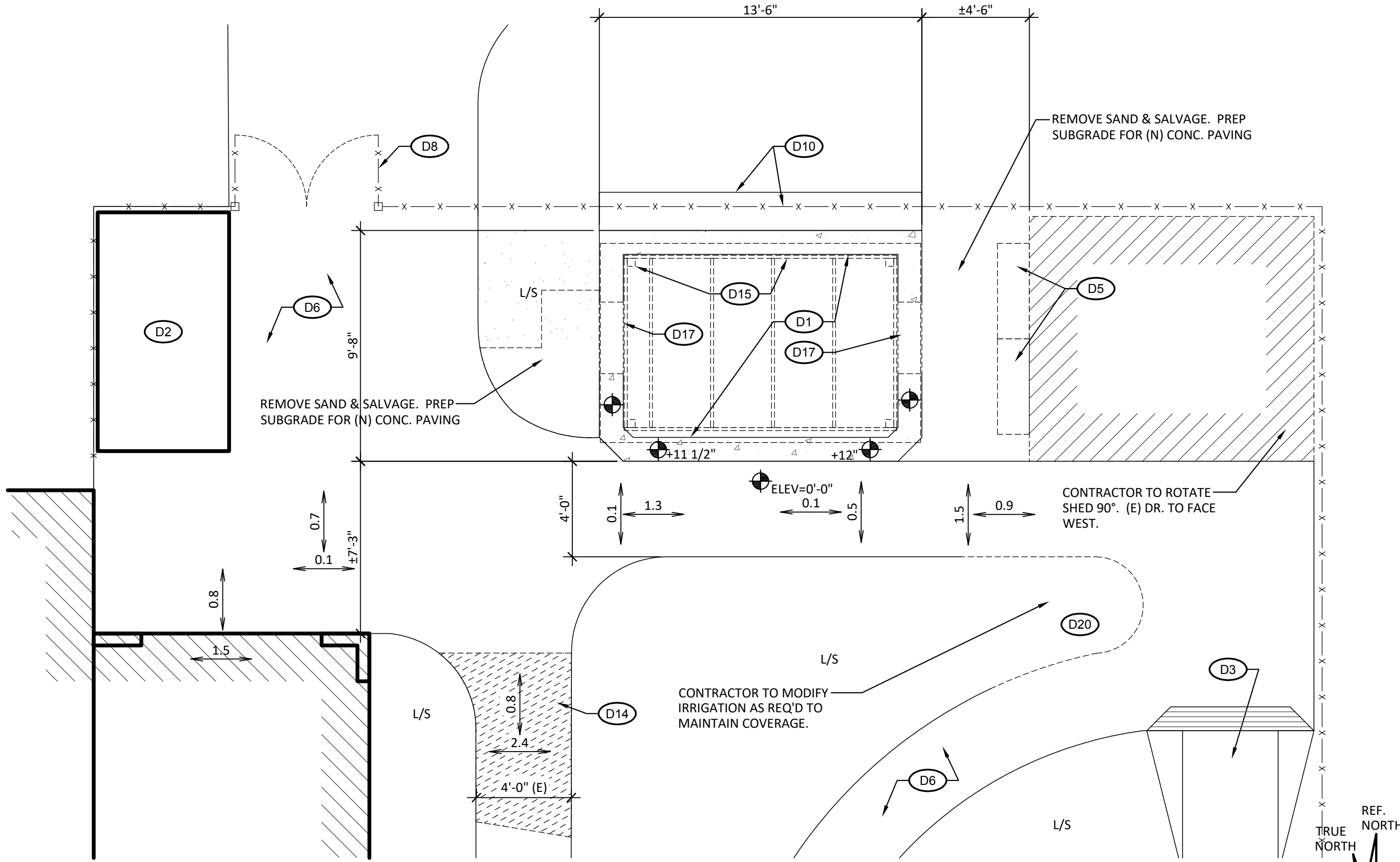
MARCH 20, 2025

DRAWN BY: LR	A0
CHECKED BY: KID	
JOB NO: 24055	



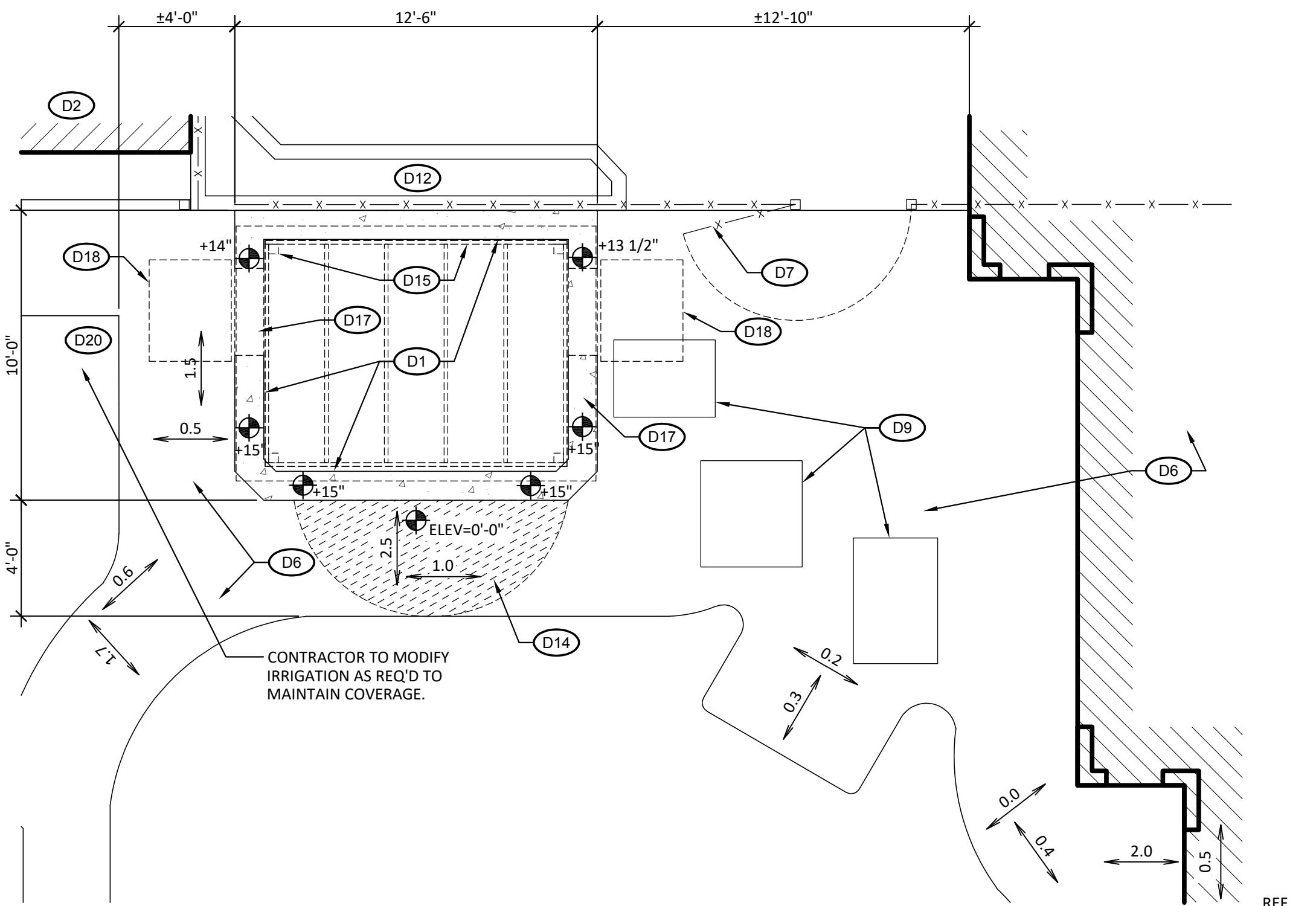
18 ASD1 SHADE STRUCTURE - AREA #4
FILE:

SCALE: 1/4"=1'-0"



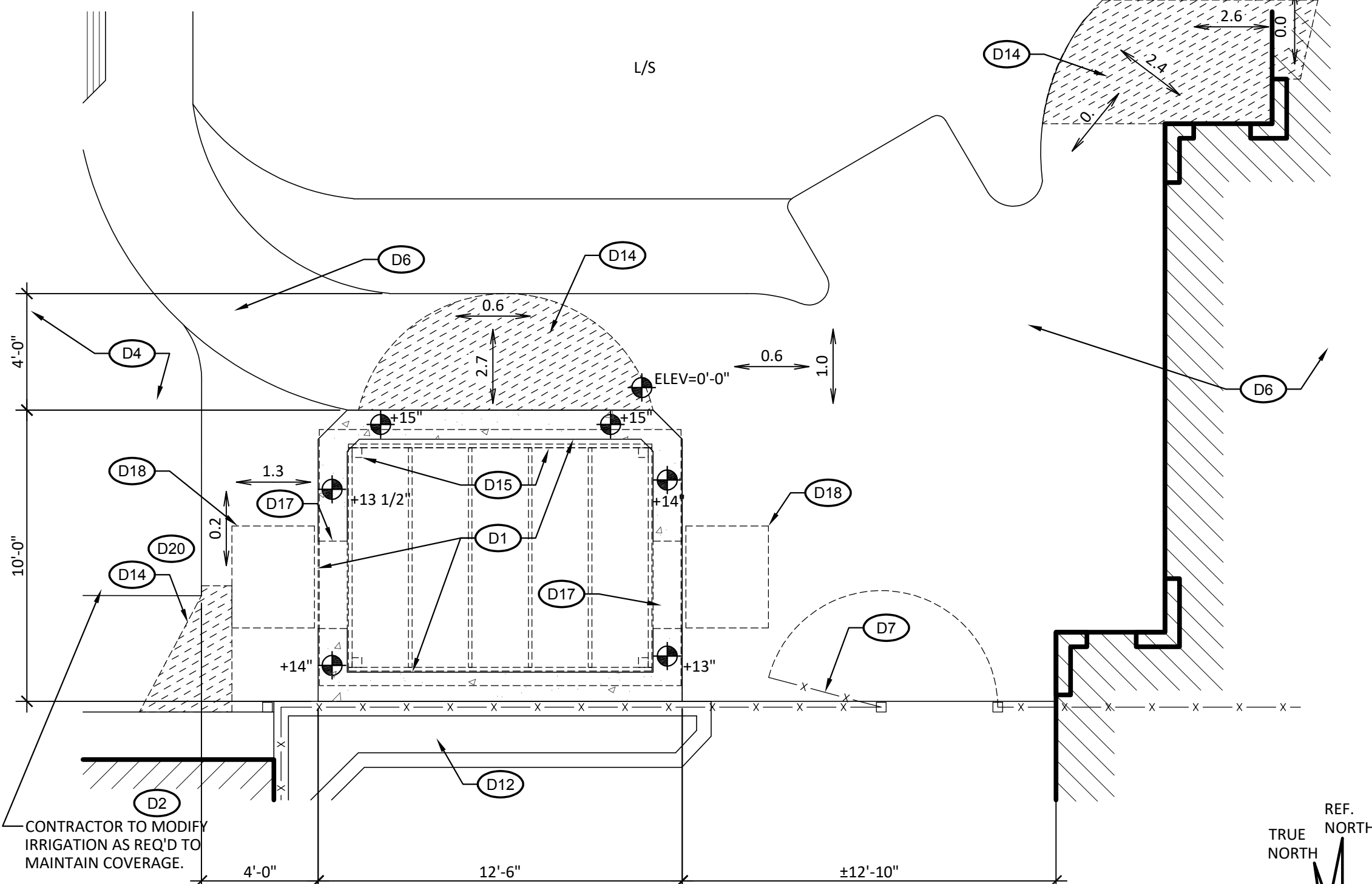
38 ASD1 SITE DEMO AREA #3
FILE:

SCALE: 1/4"=1'-0"



10 ASD1 SITE DEMO AREA #1
FILE:

SCALE: 1/4"=1'-0"



30 ASD1 SITE DEMO AREA #2
FILE:

SCALE: 1/4"=1'-0"

KEYNOTES:

- (D1) (E) CONCRETE SANDBOX TO REMAIN. SAWCUT & DEMO PORTION OF WALL AS REQ'D. FOR NEW WORK.
- (D2) (E) STORAGE SHED TO REMAIN. NO WORK.
- (D3) (E) APPARATUS AREA RAMP TO TURF SURFACE @ -2" BELOW CONC. WALK REMAIN. NO WORK.
- (D4) (E) POURED RUBBER FALL PROTECTION PAVING FLUSH W/ CONC. WALK TO REMAIN.
- (D5) (E) SAND BED +/- FLUSH W/ ADJ. CONC. WALK. REMOVE & SALVAGE SAND FOR CONSTRUCTION.
- (D6) (E) ACC. CONCRETE WALK TO REMAIN. SEE NEW PLANS FOR WORK.
- (D7) (E) STAFF INTERCONNECT GATE TO REMAIN. NO WORK.
- (D8) (E) MAINTENANCE GATE TO REMAIN. NO WORK.
- (D9) (E) UTILITY BOX TO REMAIN. PROTECT IN PLACE.
- (D10) (E) FENCE W/ MOWSTRIP TO REMAIN.
- (D11) (E) ROCK DECORATIVE PAVING TO REMAIN. PROTECT IN PLACE.
- (D12) (E) PLANTER TO REMAIN. NO WORK.
- (D13) MOVE SITE FURNITURE AS DIRECTED BY SITE STAFF.
- (D14) DEMO OR GRIND CONC. PAVING AS REQ'D. TO REMOVE TRIP HAZARD & COMPLY W/ SLOPE/CROSS-SLOPE REQ'TS..
- (D15) DEMO 4x4 & 2x SHADE STRUCTURE INCLUDING CONC. FTNG COMPLETELY.
- (D16) COLUMNS OF (E) SHADE STRUCT. TO REMAIN. PROTECT IN PLACE. TYP. OF 6
- (D17) SAWCUT (E) SANDBOX CONC. WALL FULL DEPTH AS REQ'D. TO INSTALL NEW WORK.
- (D18) SAWCUT @ (E) JOINT LINE CONC. PAVING AS REQ'D. TO INSTALL NEW WORK.
- (D19) REMOVE FENCING & GATE AS REQ'D. FOR ACCESS TO WORK.
- (D20) DEMO LANDSCAPING AREA AS REQ'D FOR NEW PAVING WORK.

GENERAL NOTES:

- NO DEMOLITION SHALL COMMENCE UNTIL DRAWINGS HAVE BEEN APPROVED BY DSA.
- S.C.C. HAS HAD C BELOW CONDUCT AN UNDERGROUND UTILITY SURVEY IN THE AREAS OF THE 4 SAND BOXES. CONTRACTOR SHALL OBTAIN A COPY OF THIS REPORT DATED 01-17-2025 FROM S.C.C. AND ANY GROUND MARKING INFORMATION INTO THEIR BID.

LEGEND:

- x—x— CHAIN LINK FENCE TO REMAIN. NO WORK.
- o—o— 6' HI DECORATIVE FENCING TO REMAIN. NO WORK.
- L/S LANDSCAPING AREA TO REMAIN. PROTECT IN PLACE.
- ITEMS TO BE DEMOLISHED OR RELOCATED.
- (E) BUILDING
- 2.0 SURVEYED SLOPE OF GRADE IN PERCENT
- APPROXIMATE AREA OF CONC. DEMO.

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**SHADE
STRUCTURE
REPLACEMENT**

**SOLANO COMMUNITY
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4000 SUISUN VALLEY RD.
FAIRFIELD, CA 94534

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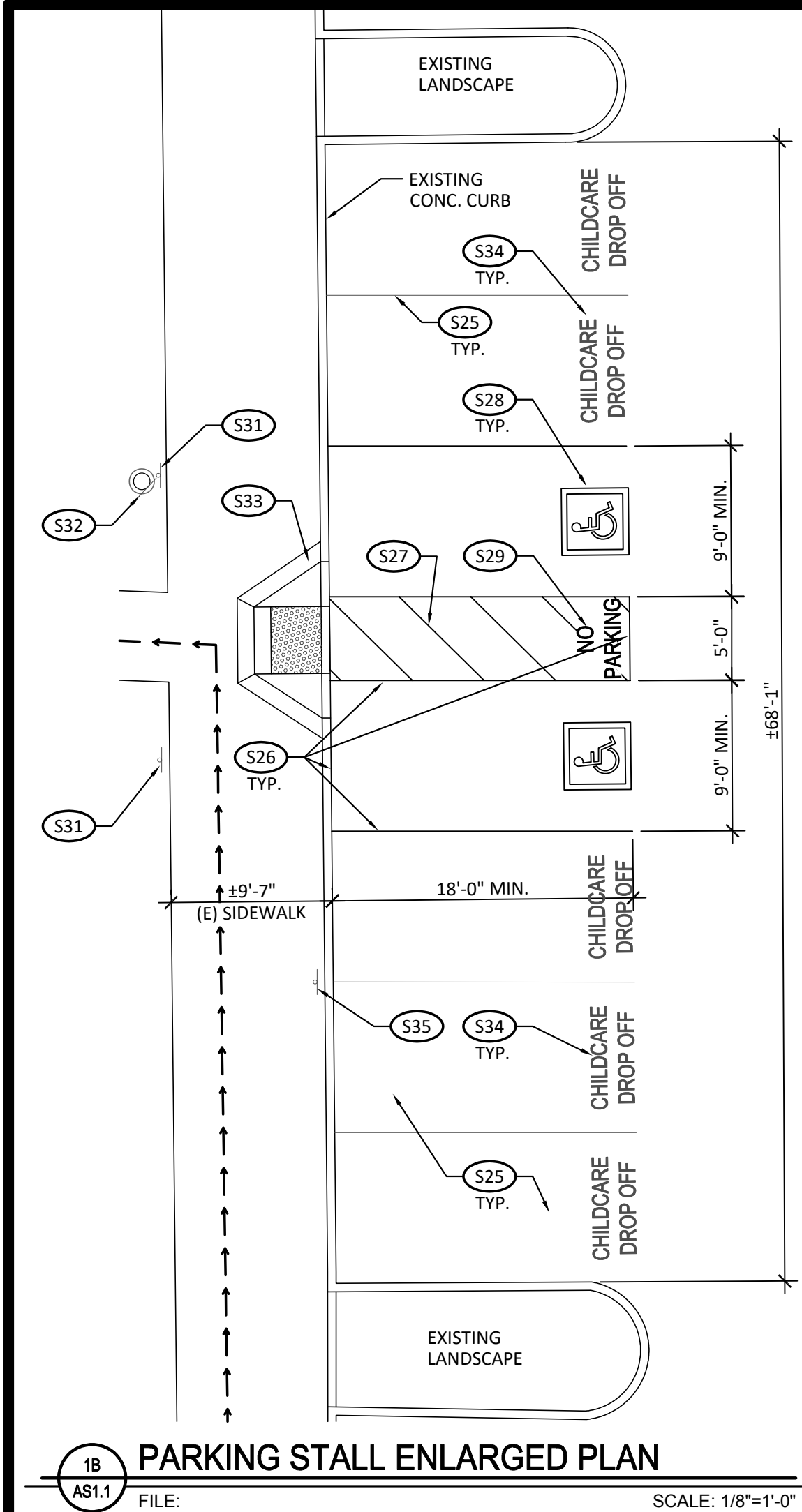
NO.	DESCRIPTION	DATE
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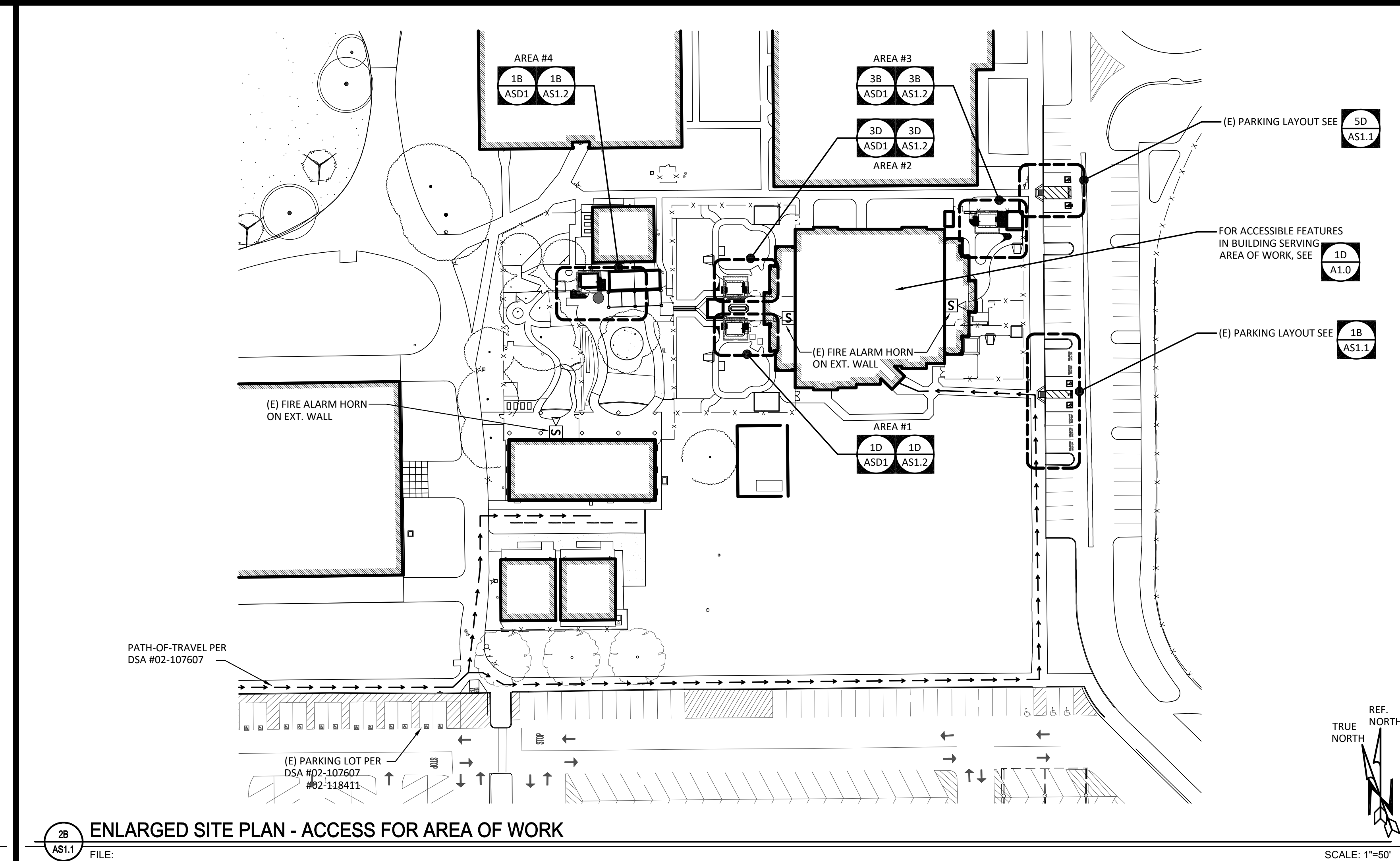
**SHADE STRUCTURE
SITE DEMO**

MARCH 20, 2025

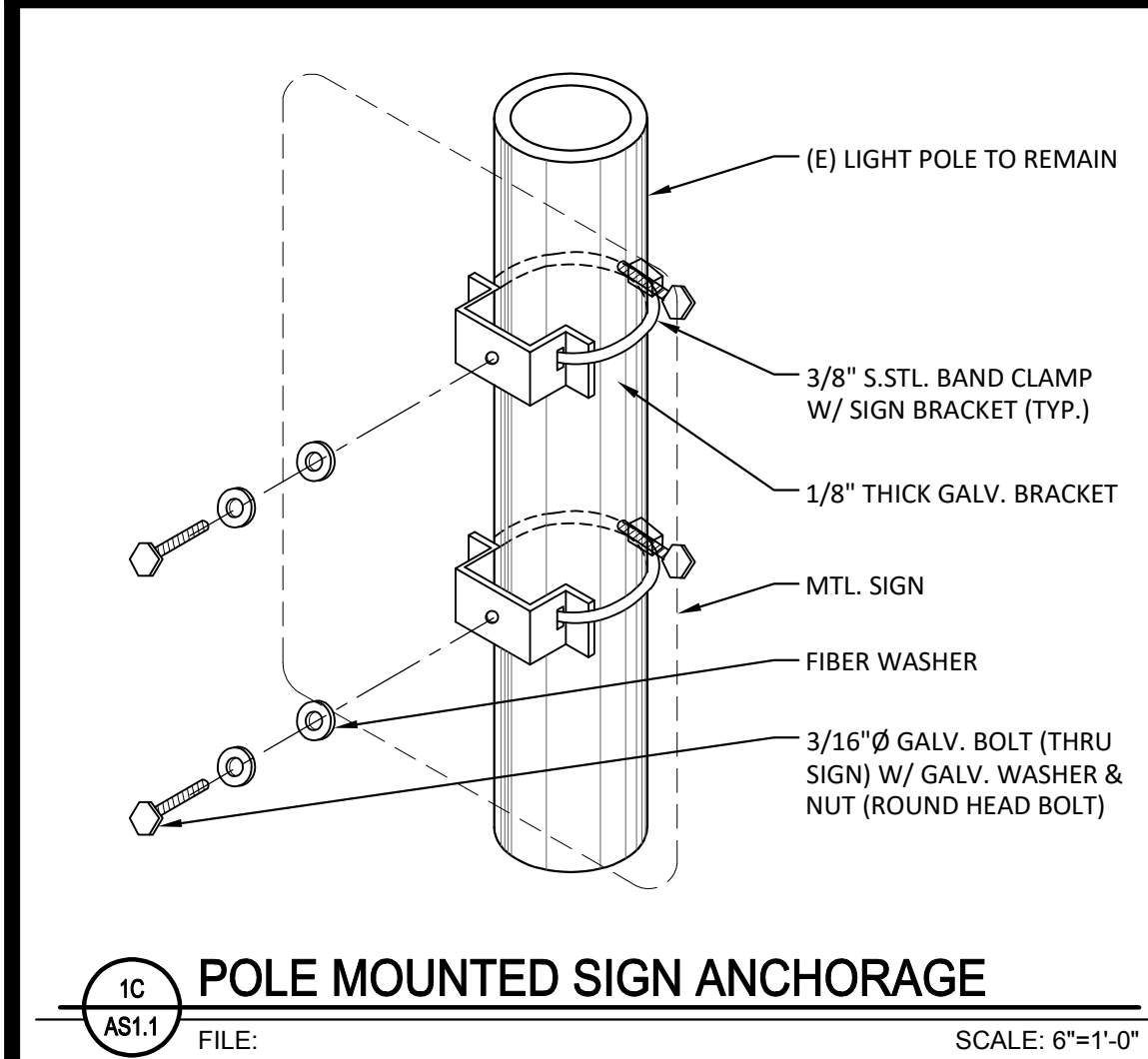
ASD1



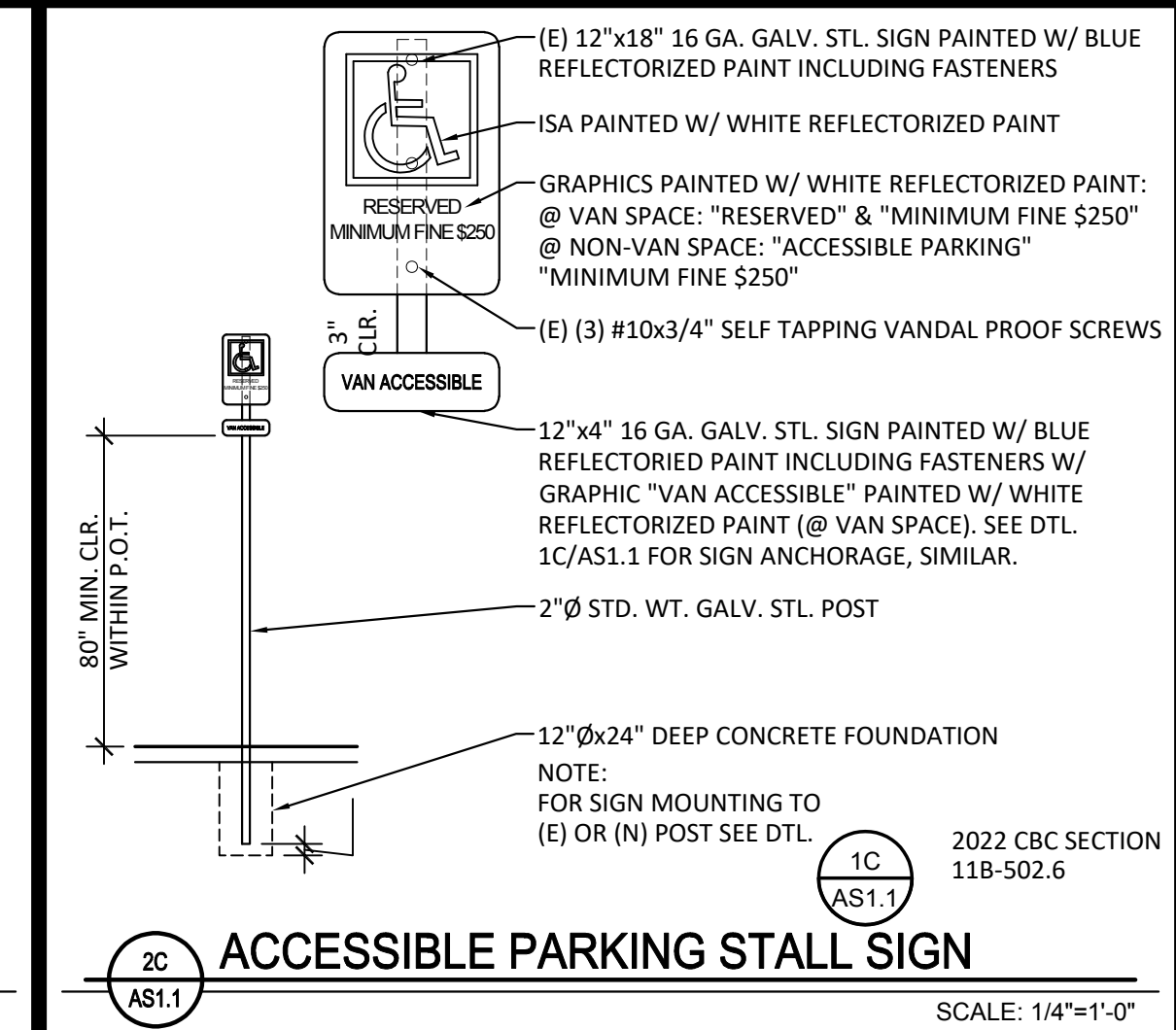
18
AS1.1
PARKING STALL ENLARGED PLAN
FILE: SCALE: 1/8"=1'-0"



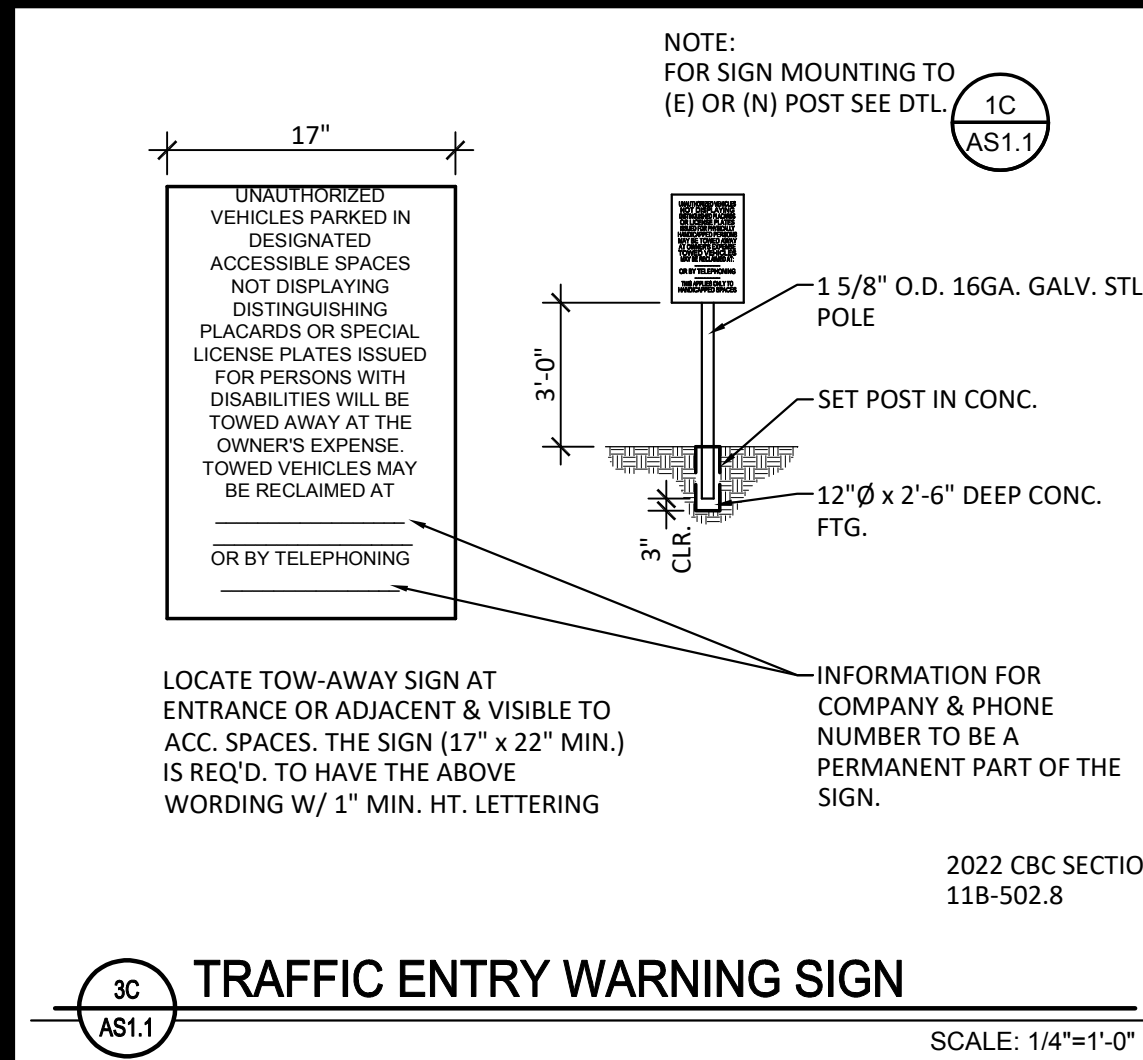
28
AS1.1
ENLARGED SITE PLAN - ACCESS FOR AREA OF WORK
FILE: SCALE: 1"=50'



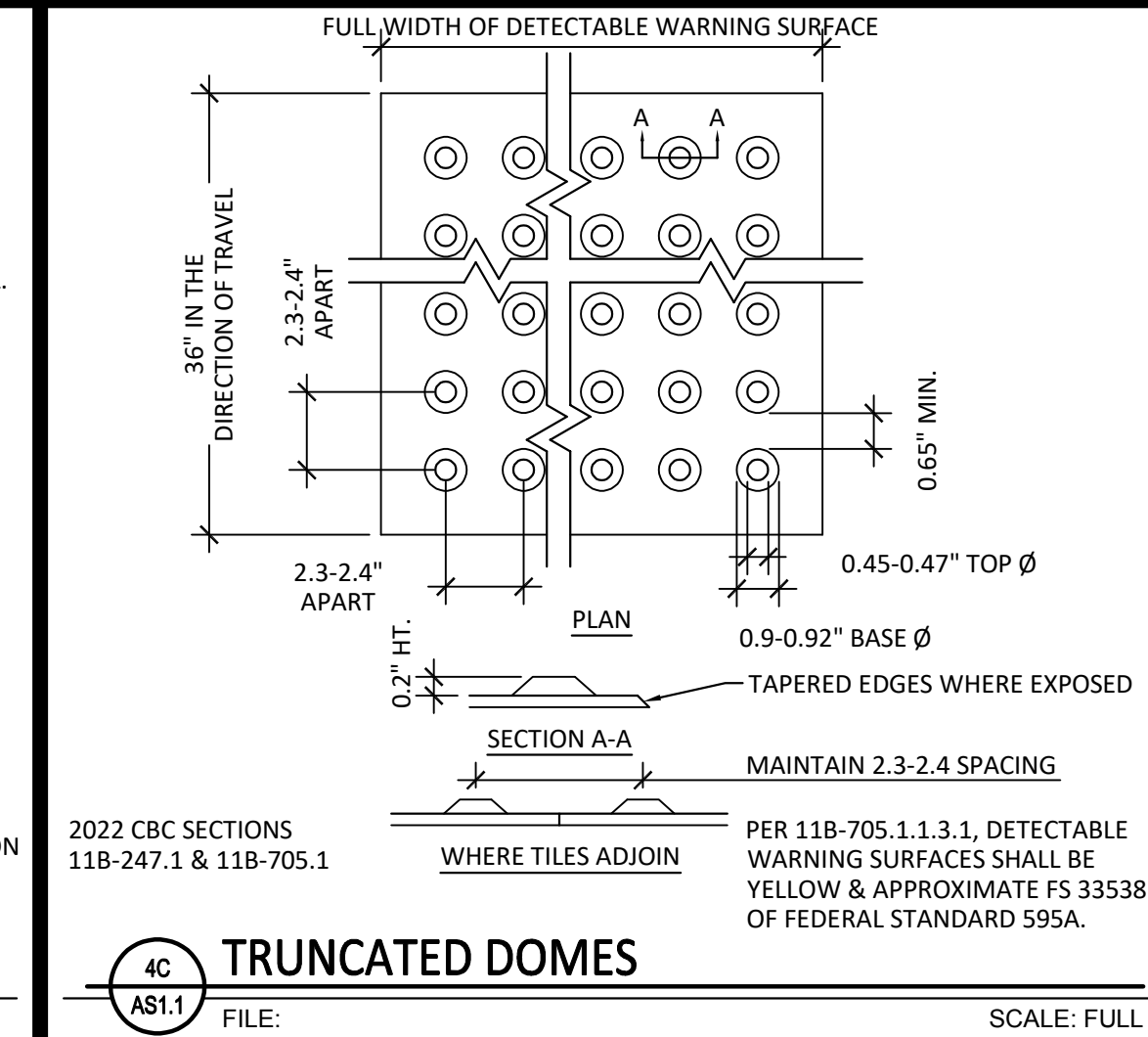
1C
AS1.1
POLE MOUNTED SIGN ANCHORAGE
FILE: SCALE: 6"=1'-0"



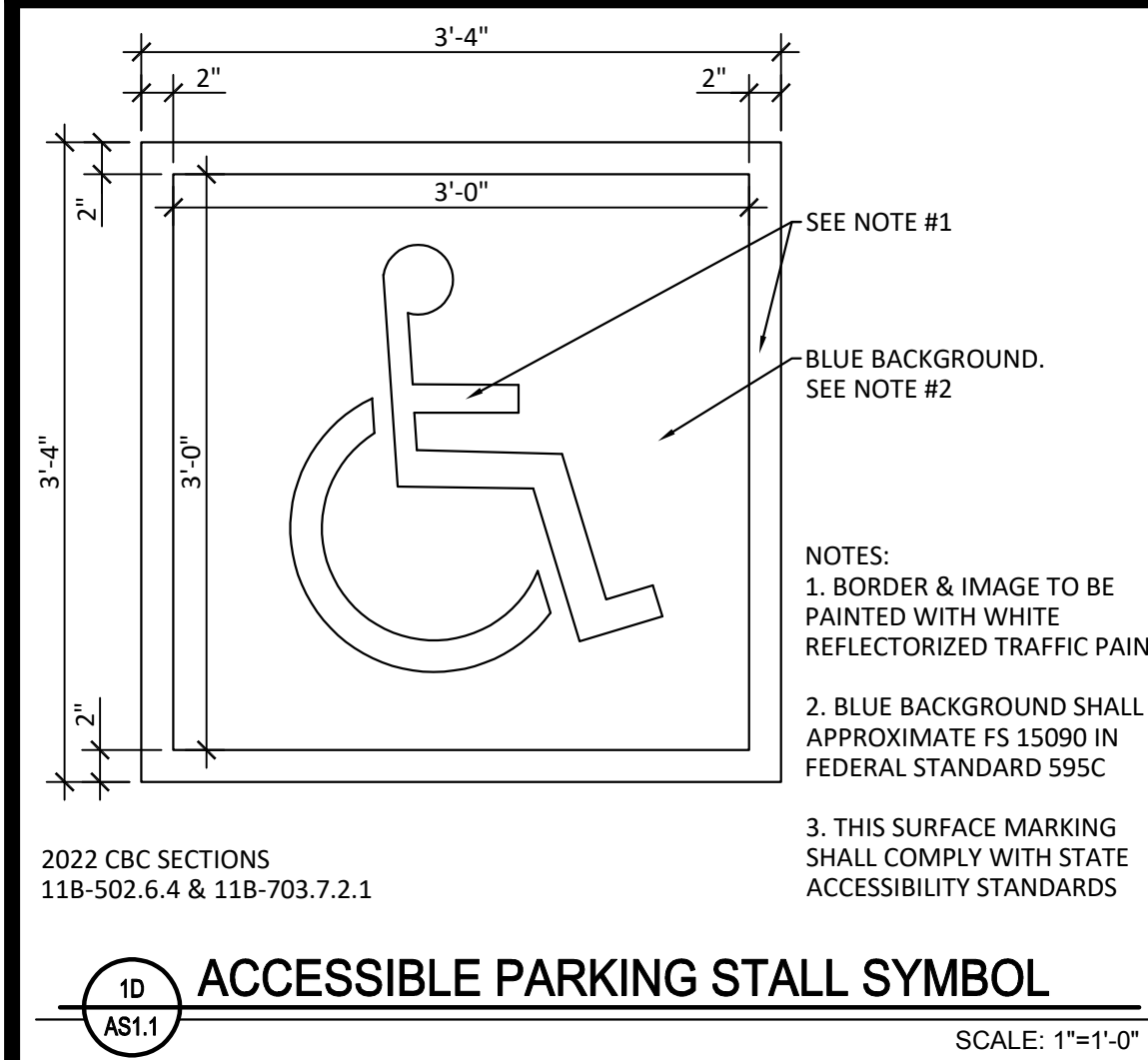
2C
AS1.1
ACCESSIBLE PARKING STALL SIGN
FILE: SCALE: 1/4"=1'-0"



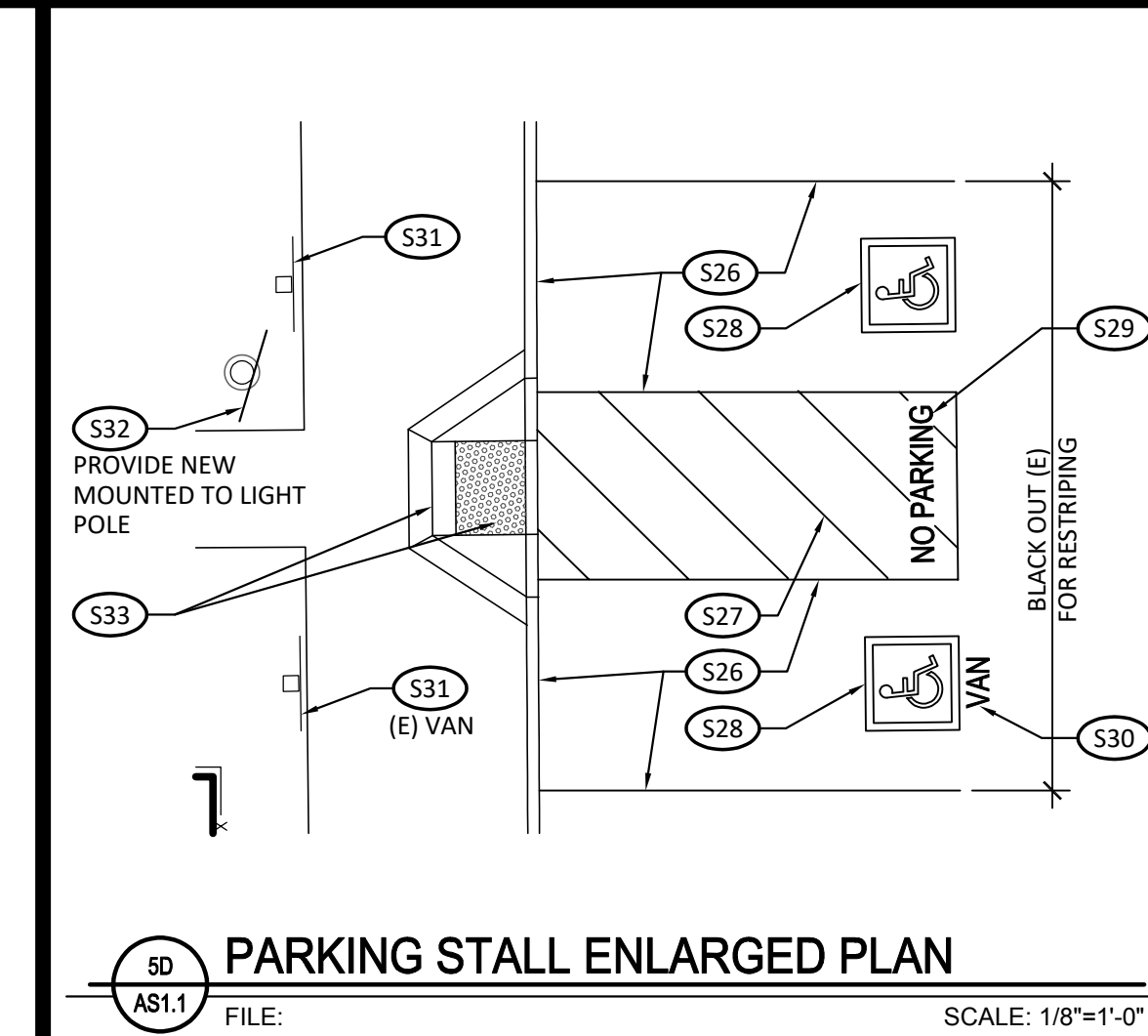
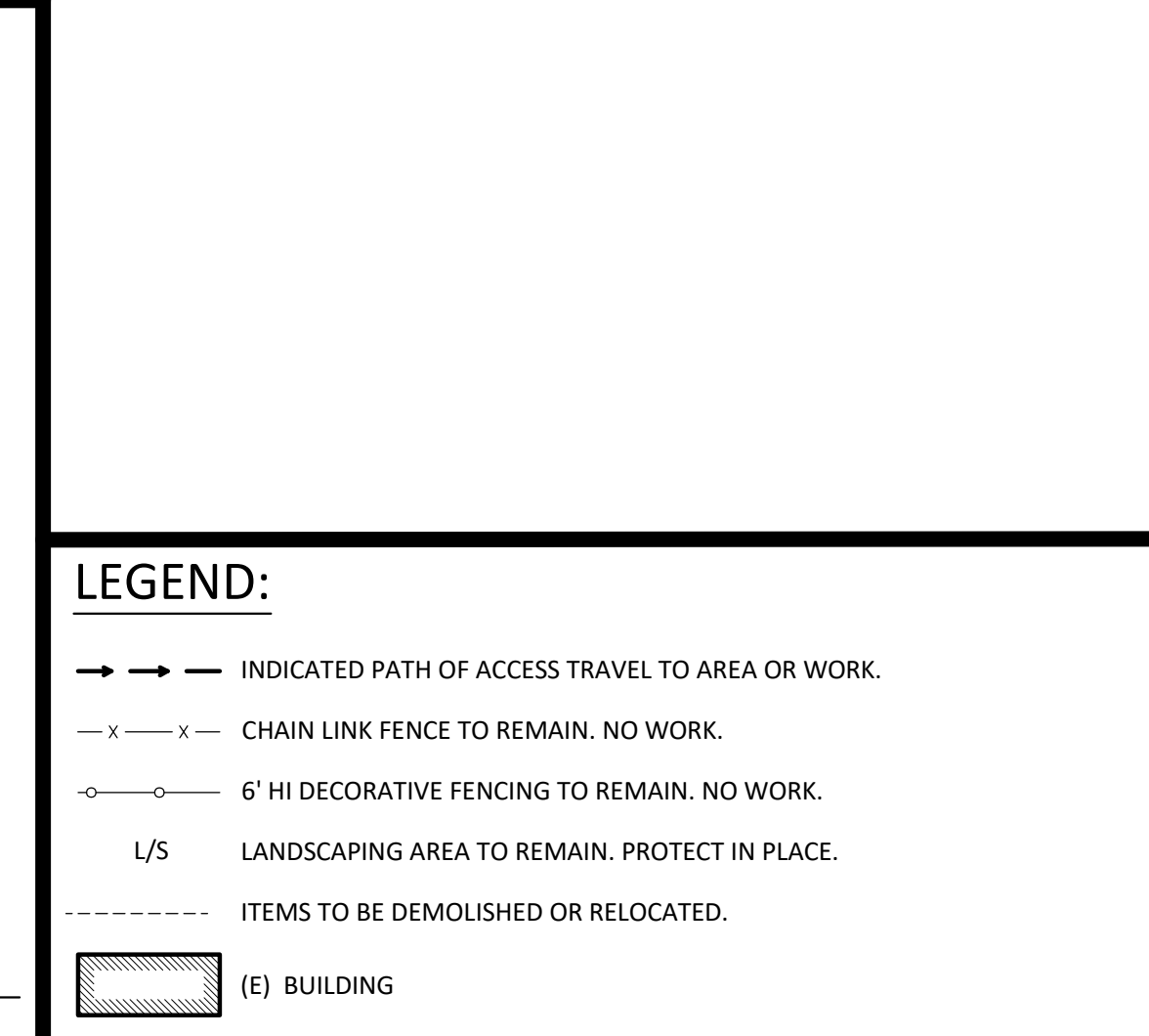
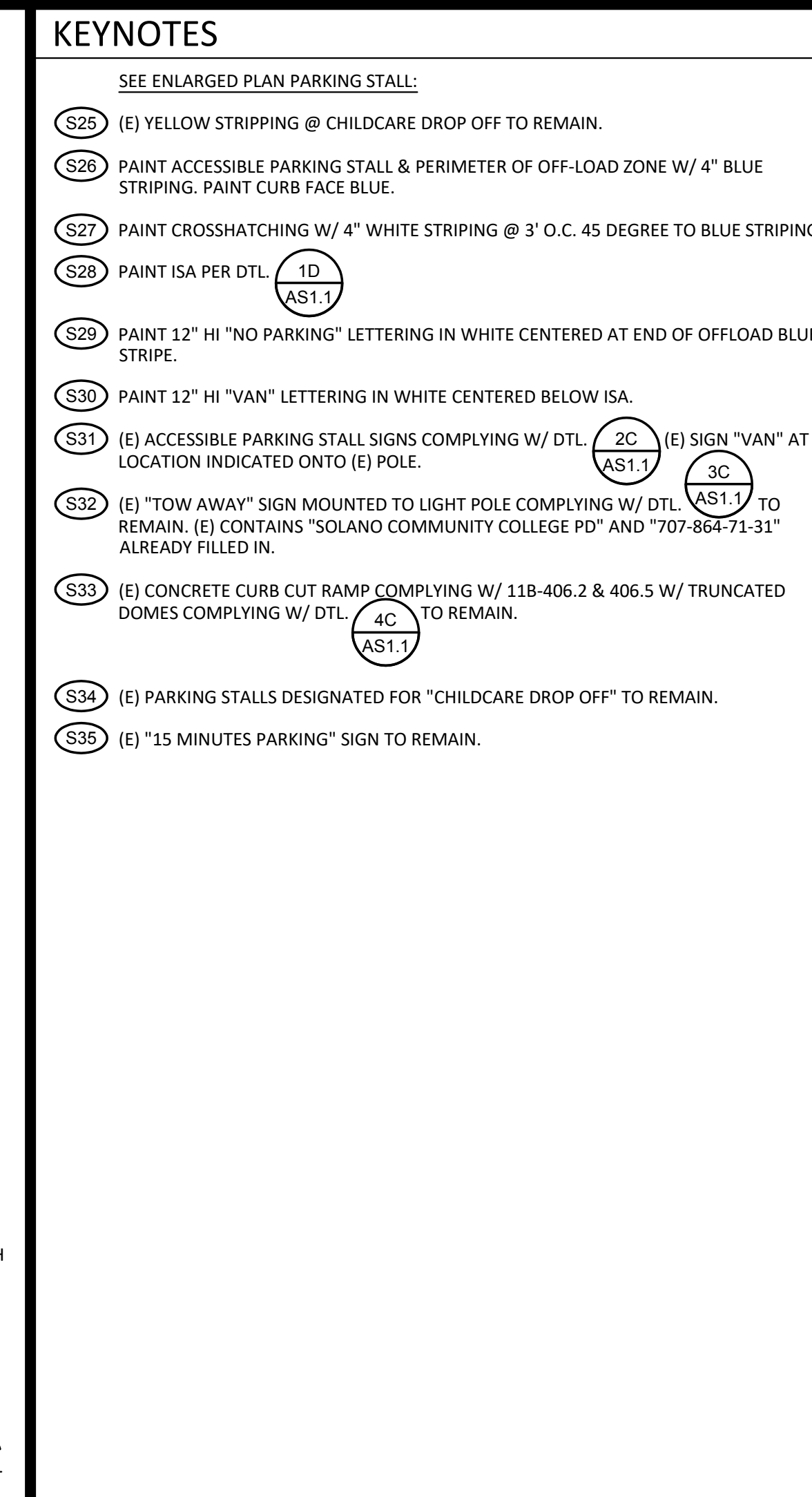
3C
AS1.1
TRAFFIC ENTRY WARNING SIGN
FILE: SCALE: 1/4"=1'-0"



4C
AS1.1
TRUNCATED DOMES
FILE: SCALE: FULL



1D
AS1.1
ACCESSIBLE PARKING STALL SYMBOL
FILE: SCALE: 1"=1'-0"



5D
AS1.1
PARKING STALL ENLARGED PLAN
FILE: SCALE: 1/8"=1'-0"



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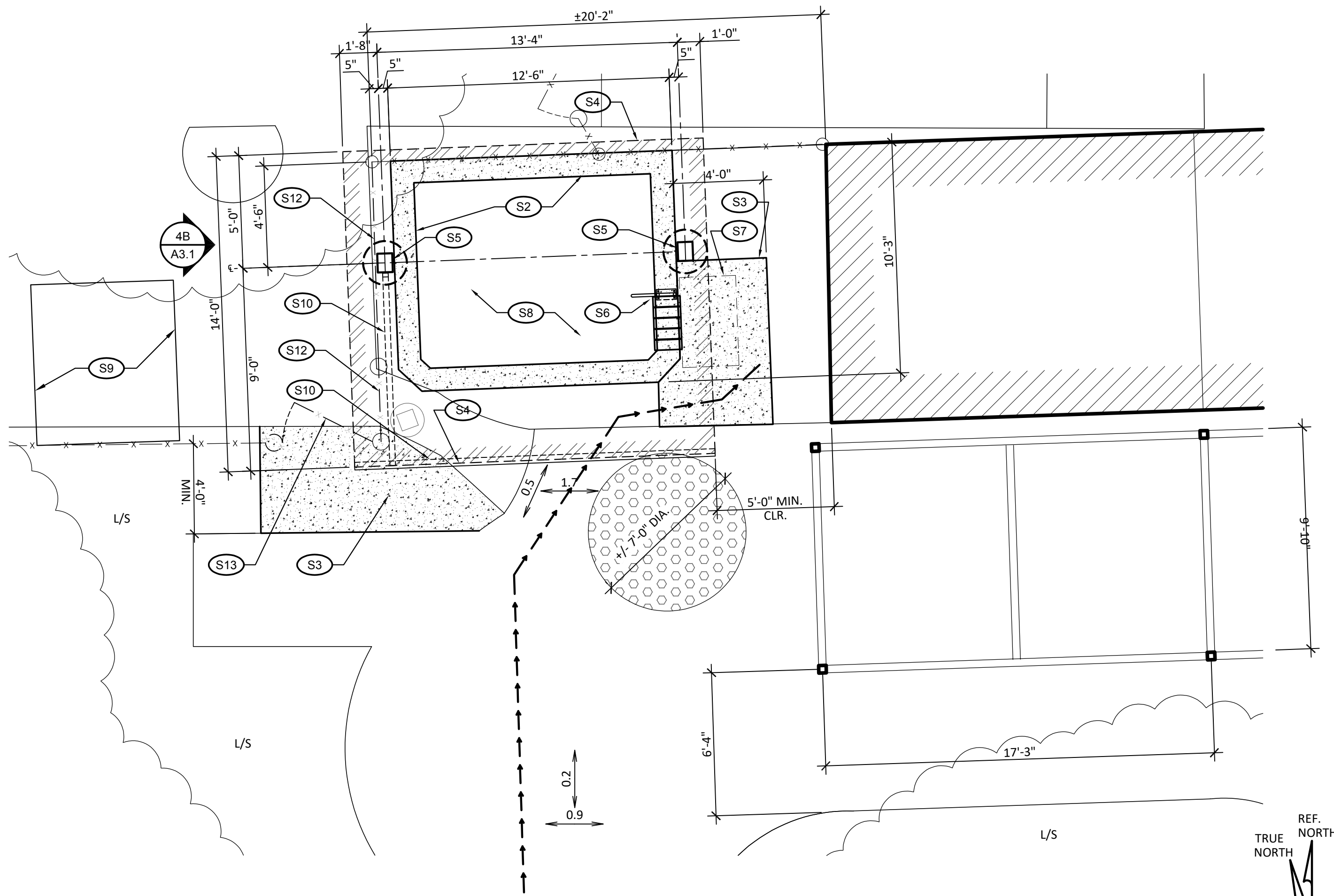
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ENLARGED SITE PLAN & DETAILS

MARCH 20, 2025

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IDB NO: 24055	

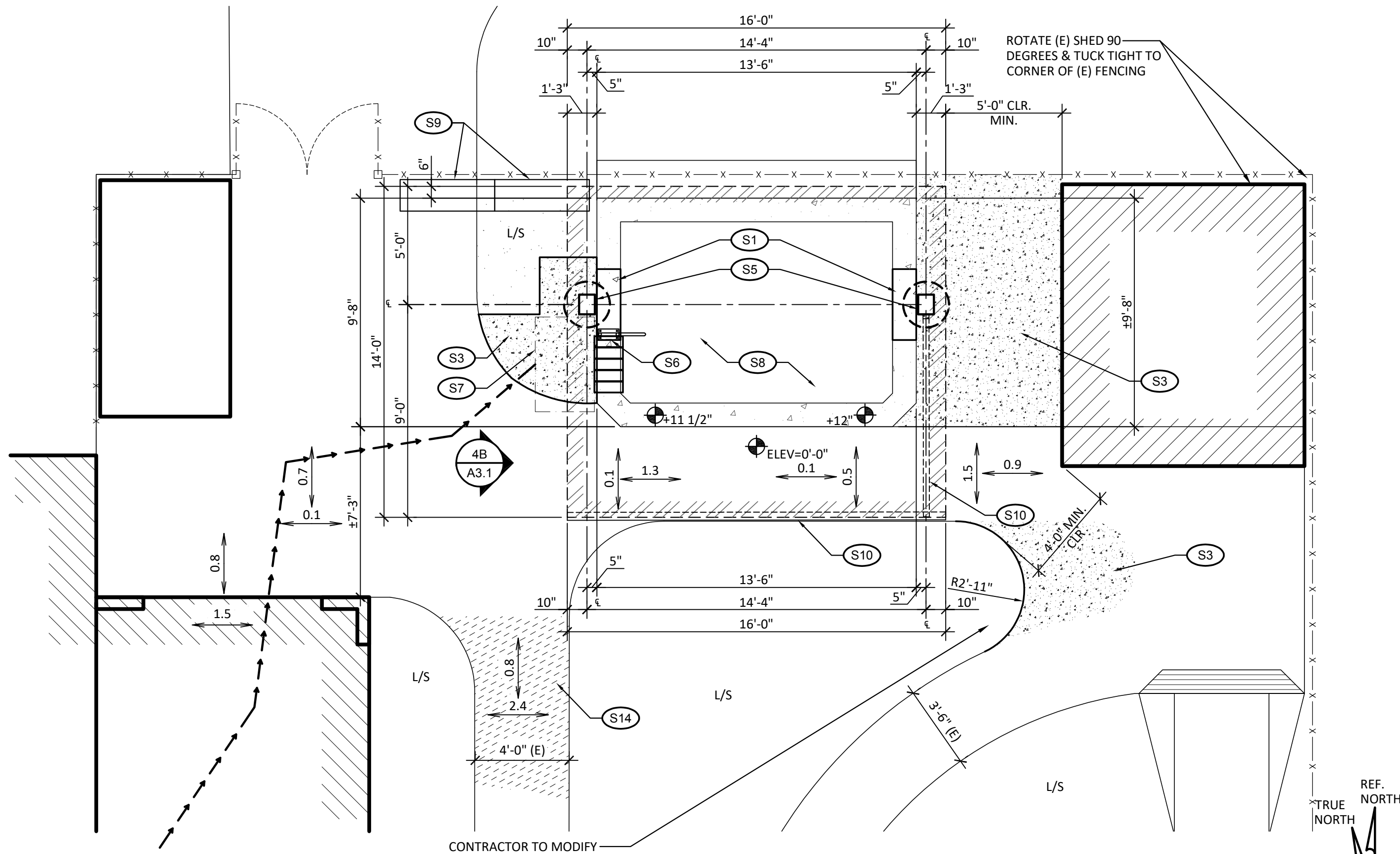
3/19/2025 3:31 PM, BRYAN E. SOLANO CCI24055 ELC SHADE STRUCTURE.DWG, AS15 SITE PLANS.DWG



18 SHADE STRUCTURE - AREA #4

FILE:

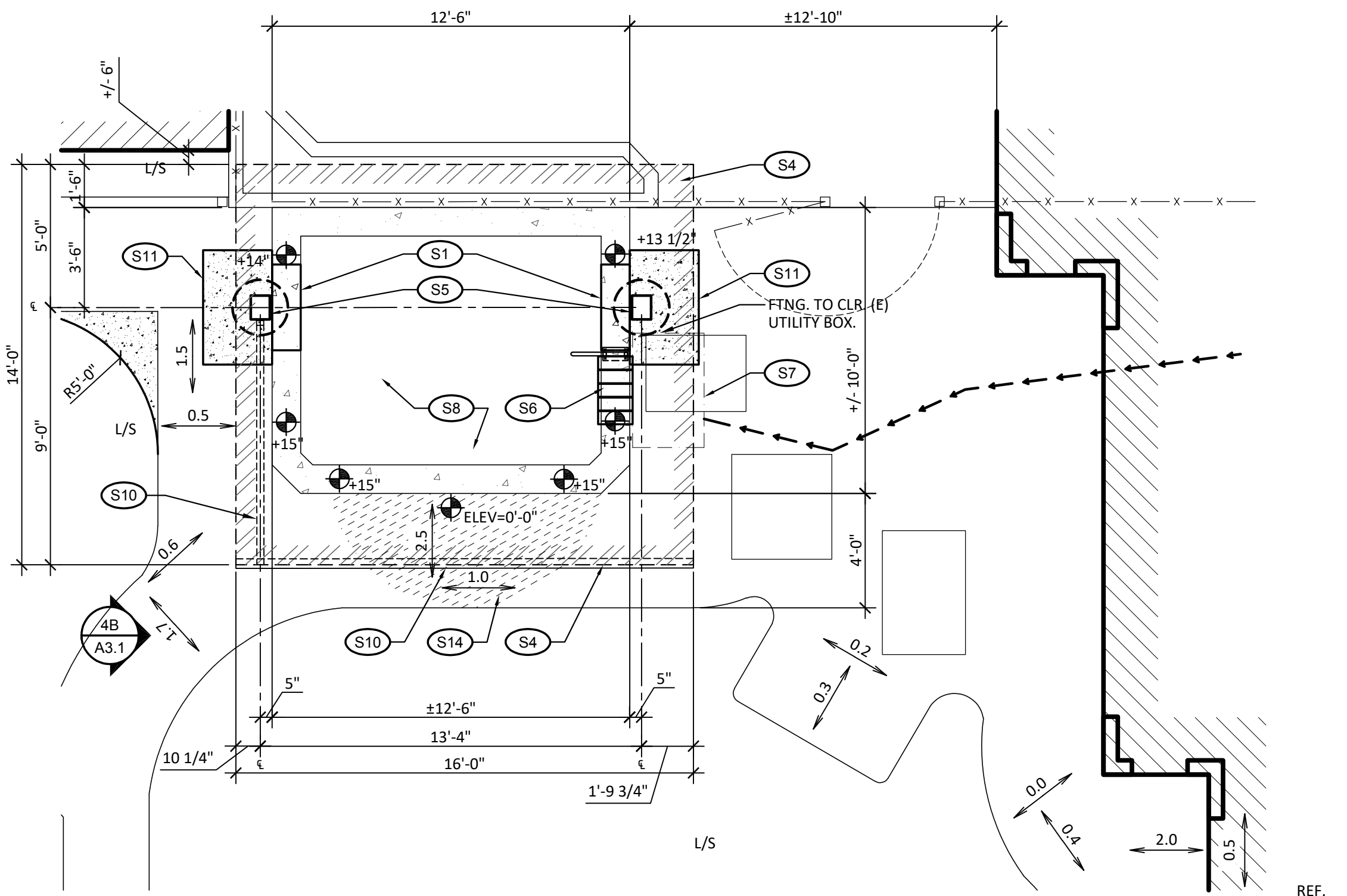
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38 SHADE STRUCTURE - AREA #3

FILE:

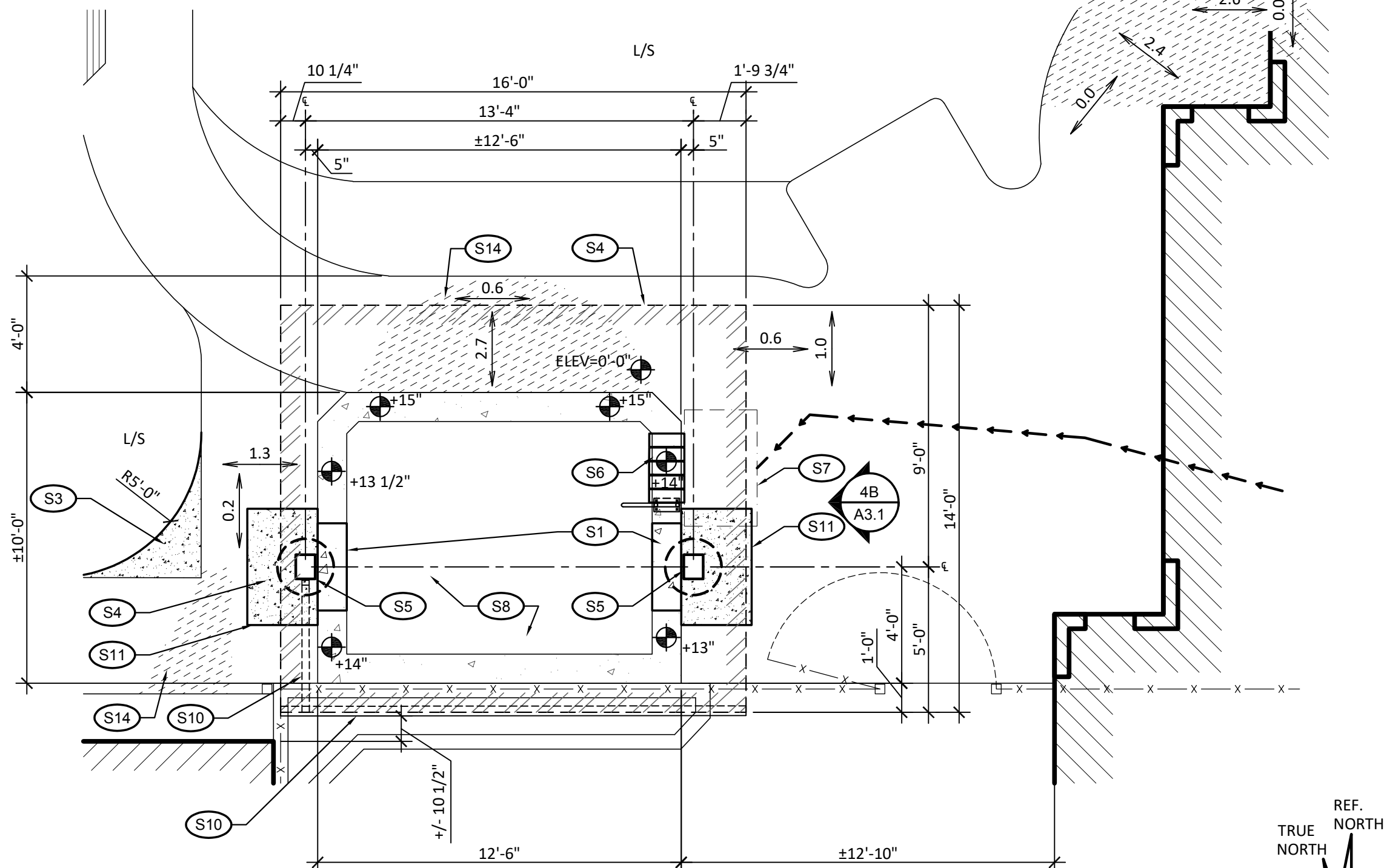
SCALE: 1/4"=1'-0"



10 SHADE STRUCTURE - AREA #1

FILE:

SCALE: 1/4"=1'-0"



30 SHADE STRUCTURE - AREA #2

FILE:

SCALE: 1/4"=1'-0"

KEYNOTES

- (S1) INFILL CONC. CURB @ SANDBOX PER DTL. (4D) (A3.0)
- (S2) CONC. CURB FOR SANDBOX PER DTL. (5D) (A3.0)
- (S3) MIN. 4" THICK CONC. SIDEWALK PAVING PER DTL. (1D) (A3.0)
- (S4) OUTLINE OF SHADE STRUCTURE COVERAGE. SEE MANUF. DRWGS.
- (S5) SHADE STRUCT. COL. TO BE INSTALLED 1" CLR. OF CONC. CURB.
- (S6) ACC. TRANSFER SEAT LOCATION. SEE DTL. (2D) (A3.0) (3D) (A3.0)
- (S7) 30" x 48" CLEAR FLOOR SPACE FOR SIDE APPROACH PER 2022 CBC 11B-305.
- (S8) CLEAN & REINSTALL SAND TO A MIN. DEPTH OF 6". PROVIDE ADD'L. AS REQ'D. TO RAISE FIN. ELEV. TO CONC. -1".
- (S9) MOVE SITE FURNITURE AS DIRECTED BY SITE STAFF.
- (S10) GUTTER & DOWNSPOUT BY SHADE STRUCTURE MANUF. PER ELEV. (4B) (A3.1)
- (S11) PATCH BACK CONCRETE WALK, TYP.
- (S12) INSTALL 4" HI C.L.F. TO MATCH (E) ON (E) POSTS.
- (S13) INSTALL 4' WD. x 4' HI C.L.F. GATE FOR MAINTENANCE PERSONNEL ONLY. SEE DTL. (5D) (A3.1)
- (S14) PATCH BACK CONCRETE OR GRIND AS REQ'D. FOR SLOPE TO COMPLY @ 2% MAX IN ANY DIRECTION. EDGES SHALL FLUSH W/ ADJ.

LEGEND:

- → → INDICATED PATH OF ACCESS TRAVEL TO AREA OR WORK.
- x-x- CHAIN LINK FENCE TO REMAIN. NO WORK.
- ○ ○ 6" HI DECORATIVE FENCING TO REMAIN. NO WORK.
- L/S LANDSCAPING AREA TO REMAIN. PROTECT IN PLACE.
- ITEMS TO BE DEMOLISHED OR RELOCATED.
- (E) BUILDING

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**SHADE
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ENLARGED SITE PLANS

MARCH 20, 2025

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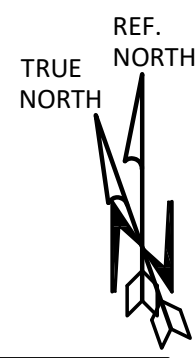
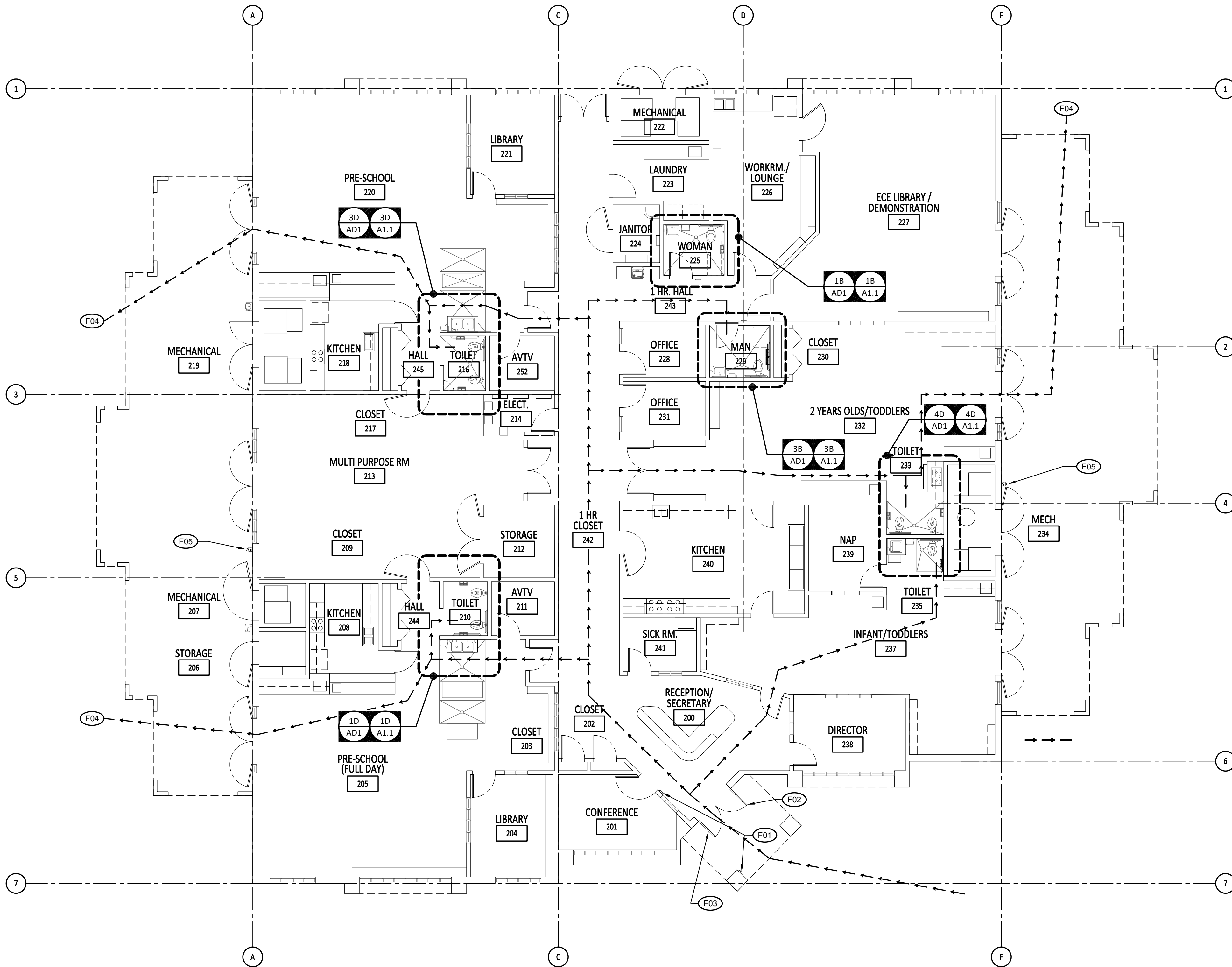
AS1.2

3/19/2025 3:25 PM, BRYAN E/SOLANO CC124055 ELC SHADE STRUCTURE 05_A15_FLOOR PLAN.DWG

10
A10

REFERENCE (E) FLOOR PLAN - BUILDING 200

FILE:



SCALE: 1/8"=1'-0"

KEYNOTES:

- (F01) REMOVE (E) DR. OPERATOR BUTTON & REPLACE W/ OPERATOR BAR. SEE SPECS. & DTL. 5A A3.0
- (F02) (E) DR. W/ ACC. HARDWARE COMPLYING W/ 11B-404.2 TO REMAIN.
- (F03) AUTOMATIC OPERATOR LEAF OF DR. TO REMAIN.
- (F04) PATH OF TRAVEL TO AREA OF WORK.
- (F05) (E) FIRE ALARM HORN DEVICE

GENERAL NOTES:

1. PATH-OF-TRAVEL INTO AND WITHIN THE BUILDING HAS BEEN SERVEYED FOR COMPLIANCE WITH 2022 CBC 11B-202.4. ITEMS FOUND TO NOT BE IN COMPLIANCE ALONG THIS PATH ARE BEING MODIFIED WITHIN THESE COCUMENTS TO BE BROUGHT INTO COMPLIANCE AND SERVE THE SPECIFIC AREA OF WORK.

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SHADE
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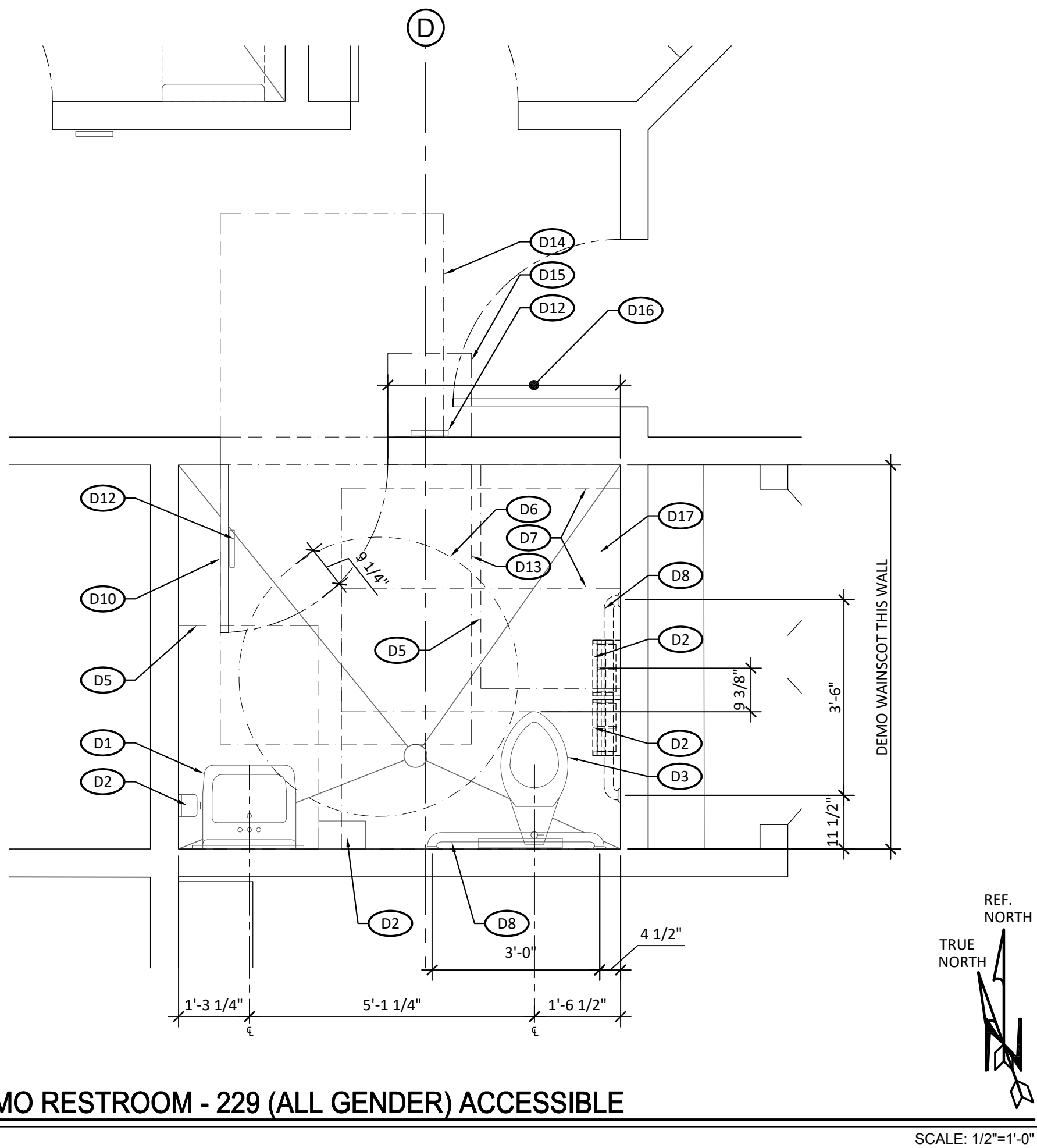
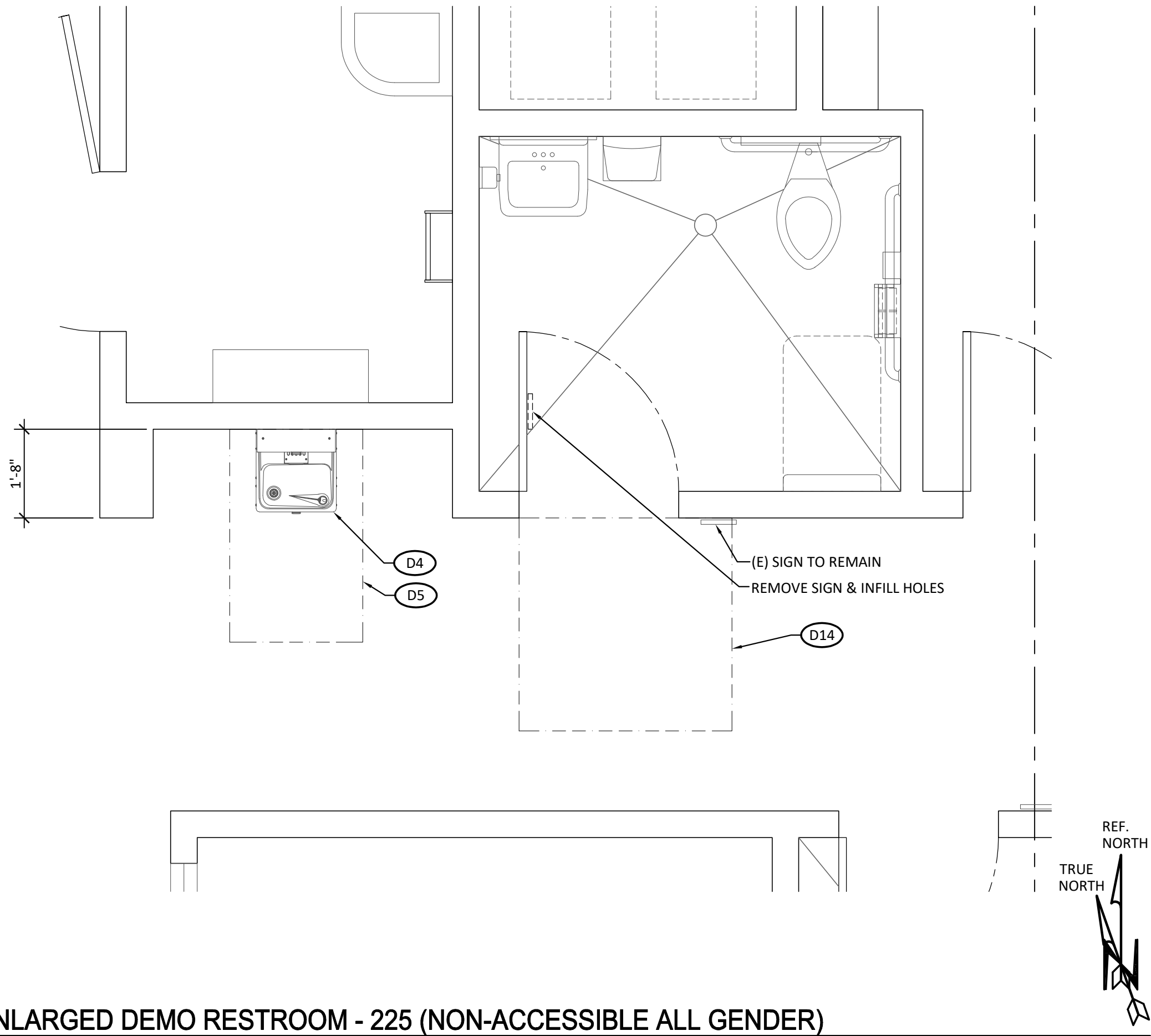
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REFERENCE FLOOR PLAN
BUILDING 200

MARCH 20, 2025

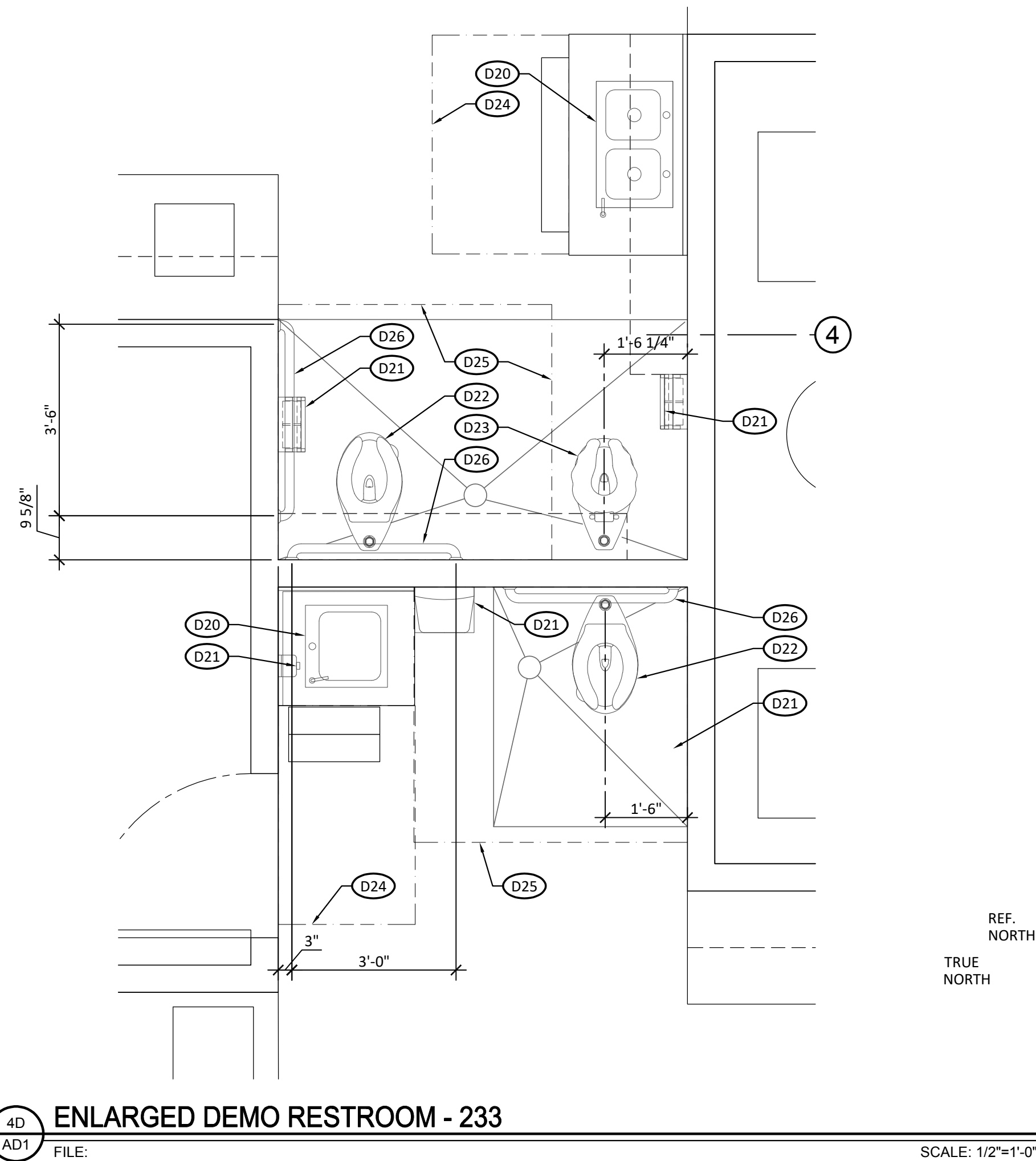
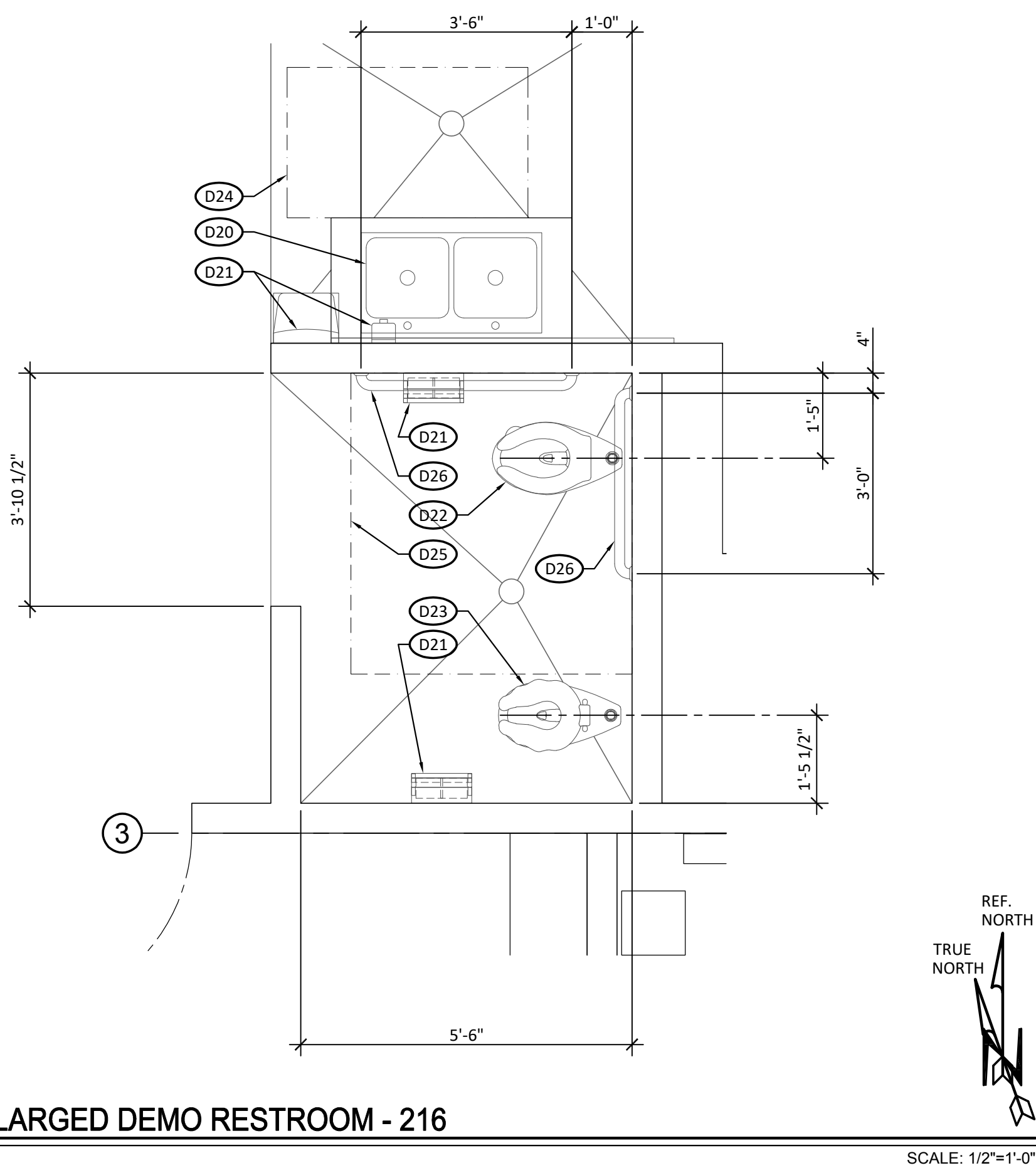
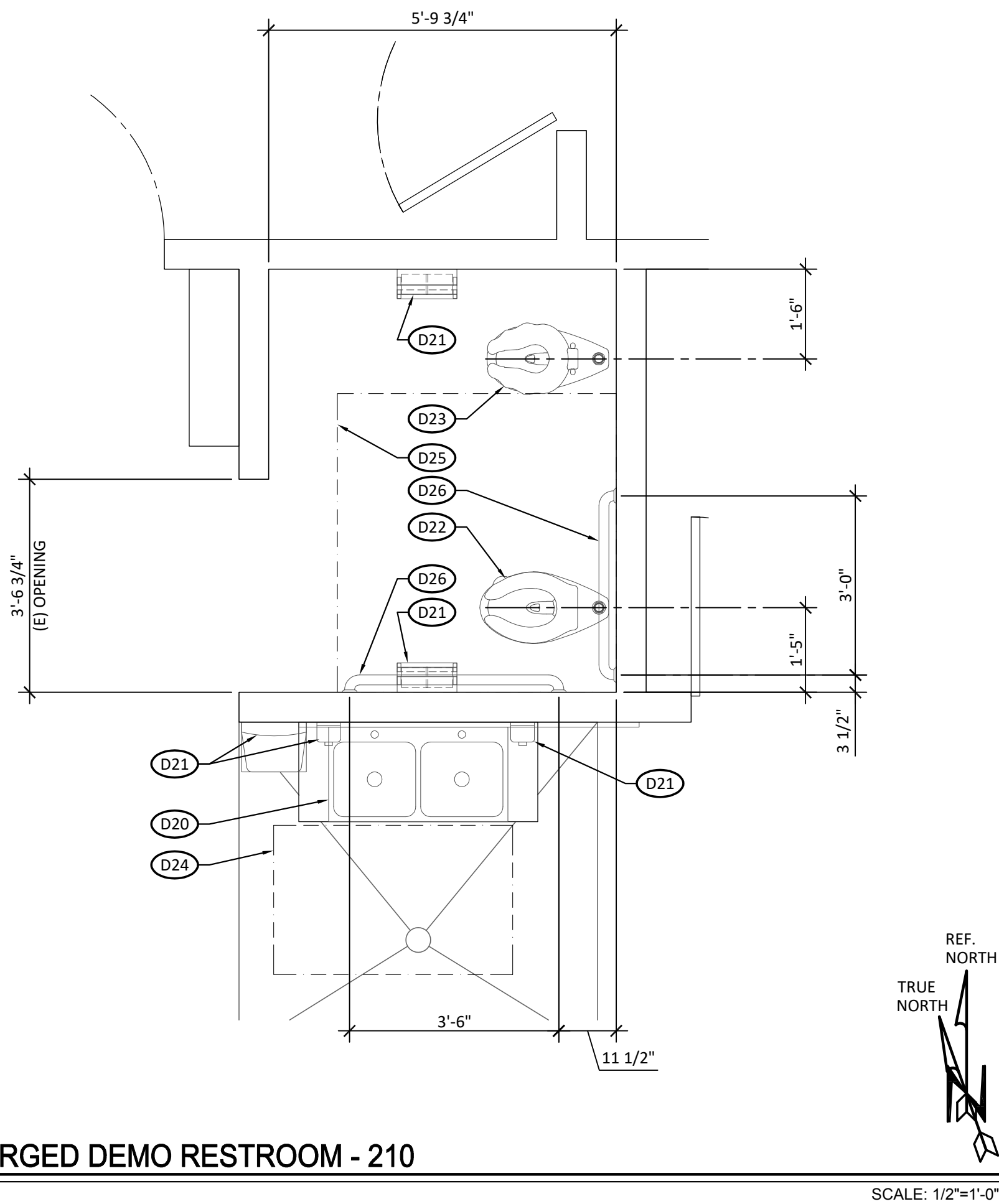
DRAWN BY:	LR
CHECKED BY:	KD
JOB NO.	24055

A1.0



- DEMO KEYNOTES:**
- (D1) ADULT RESTROOM DEMO KEYNOTES:
(E) WALL HUNG LAV COMPLYING W/ 11B-606, 11B-306, & 11B-305 TO REMAIN.
 - (D2) (E) WALL HUNG ACCESSORY (SOAP, PAPER TOWEL DISP., ETC) COMPLYING W/ 11B-308 & 11B-309 TO REMAIN.
 - (D3) (E) TOILET TO REMAIN. SEE FLOOR PLAN FOR WORK.
 - (D4) (E) DRINKING FOUNTAIN W/ BOTTLE FILLER IN ALCOVE TO REMAIN. D.F COMPLYING W/ 11B-602.2 THRU 11B-602.6. & B.F. COMPLYING W/ 11B-602.10.
 - (D5) PROVIDED 30"x48" CLR. FLR. SPACE PER 11B-305
 - (D6) PROVIDED 60" CIRCLE OF CLR. FLR. SPACE PER 11B-304.3.1
 - (D7) PROVIDED 60"x56" CLEARANCE AND 60"x48" MANEUVERING SPACE @ TOILET PER 11B-604.3.1
 - (D8) (E) GRAB BAR COMPLYING WITH EITHER 11B-604.5.1 OR 11B-604.5.2 TO REMAIN
 - (D9) (E) GRAB BAR TO BE RELOCATED PER 11B-604.5.2
 - (D10) (E) 3'-0" DR. W/ LEVER HARDWARE & CLOSER COMPLYING W/ 11B-404.2.4, 11B-404.2.7, & 11B-404.2.10 TO REMAIN.
 - (D11) (E) BABY CHANGING TABLE.
 - (D12) (E) RESTROOM SIGNAGE TO BE REMOVED & REPLACED W/ NEW.
 - (D13) PULL SIDE AND /OR PUSH SIDE DOOR ACCESS SPACE PER 2022 CBC 11B-404.2.4.1.
 - (D14) 4'-0" x 4'-0" DOOR APPROACH SPACE.
 - (D15) 18" x18" CLEAR FLOOR SPACE @ ROOM SIGN. SIGN CENTERED IN 18" WIDTH.
 - (D16) DEMO WAINSCOT FULL WIDTH OF WALL SEGMENT. DEMO GYP. BD. TO CENTERLINE OF (E) STUDS AS REQ'D FOR (N) WORK.
 - (D17) BABY CHANGING TABLE PER 2022 11B-226.4.
 - (D20) CHILD (AGE 2-4) RESTROOM DEMO KEYNOTES:
(E) SINK IN CASEWORK W/ AUTO-SENSING FAUCET TO REMAIN. COUNTERTOP HEIGHT AS NOTED
 - (D21) (E) WALL HUNG ACCESSORY (SOAP, PAPER TOWEL DISP., ETC) COMPLYING W/ 11B-308 & 11B-309 TO REMAIN.
 - (D22) (E) CHILD'S ACC. TOILET TO REMAIN.
 - (D23) (E) CHILD'S STANDARD TOILET TO REMAIN.
 - (D24) PROVIDED 30"x48" CLR. FLR. SPACE PER 11B-305
 - (D25) PROVIDED 60"x56" CLEARANCE SPACE @ TOILET PER 11B-604.3.1
 - (D26) (E) GRAB BAR COMPLYING WITH EITHER 11B-604.5.1 OR 11B-604.5.2 TO REMAIN

- GENERAL NOTES:**
- NO DEMOLITION SHALL COMMENCE UNTIL DRAWINGS HAVE BEEN APPROVED BY DSA.



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DSA #02-123096

FILE #48-C1

**SHADE
STRUCTURE
REPLACEMENT**

**SOLANO COMMUNITY
COLLEGE**

**4000 SUISUN VALLEY RD.
FAIRFIELD, CA 94534**

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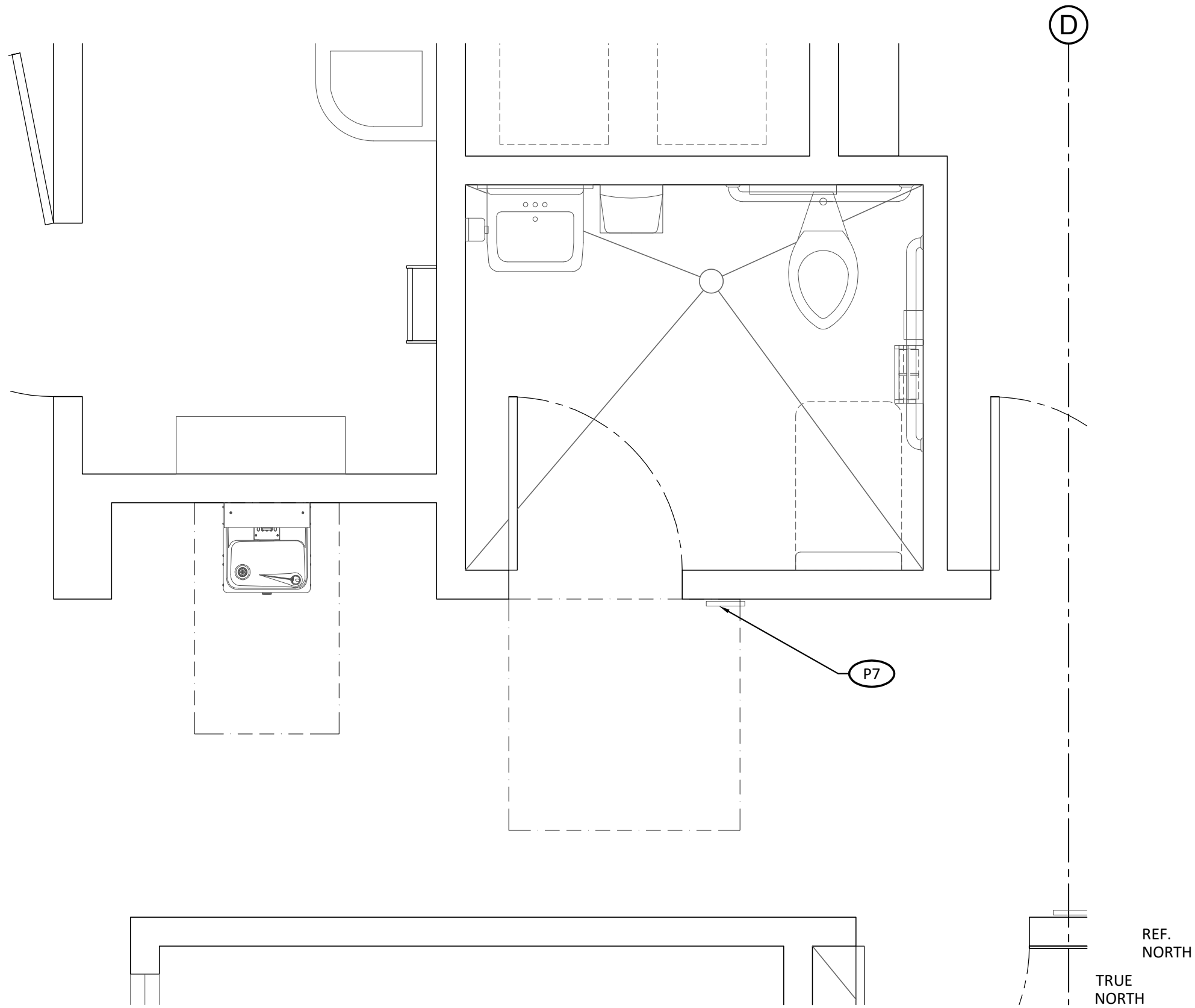
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**ENLARGED DEMO
RESTROOM PLANS**

MARCH 20, 2025

AD1

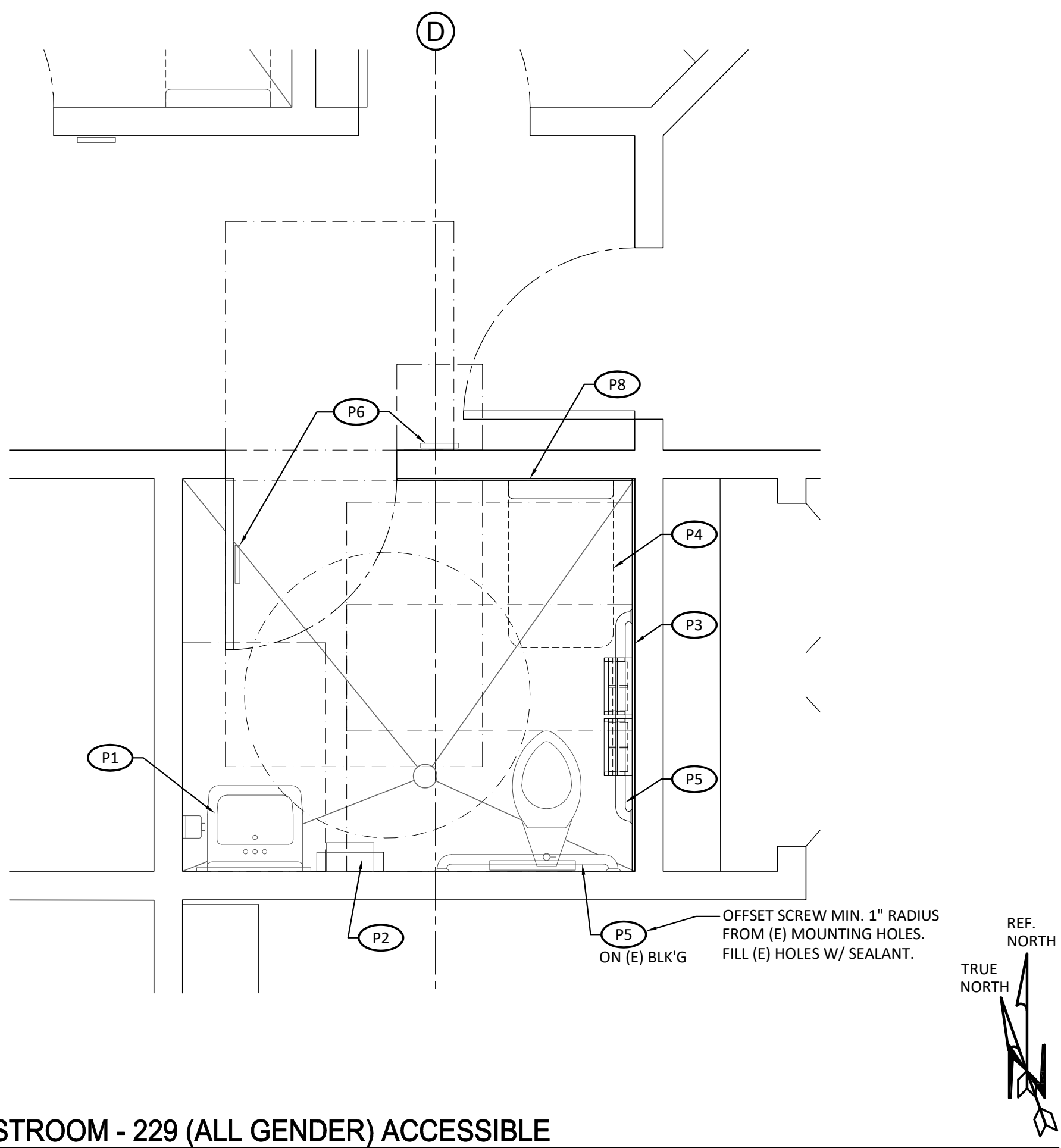
3/19/2025 3:26 PM, BRYAN E/SOLANO CC24055 ELC SHADE STRUCTURE05_A15_FLOOR PLANDWG



1B ENLARGED RESTROOM - 225 (ALL GENDER)

A1.1 FILE:

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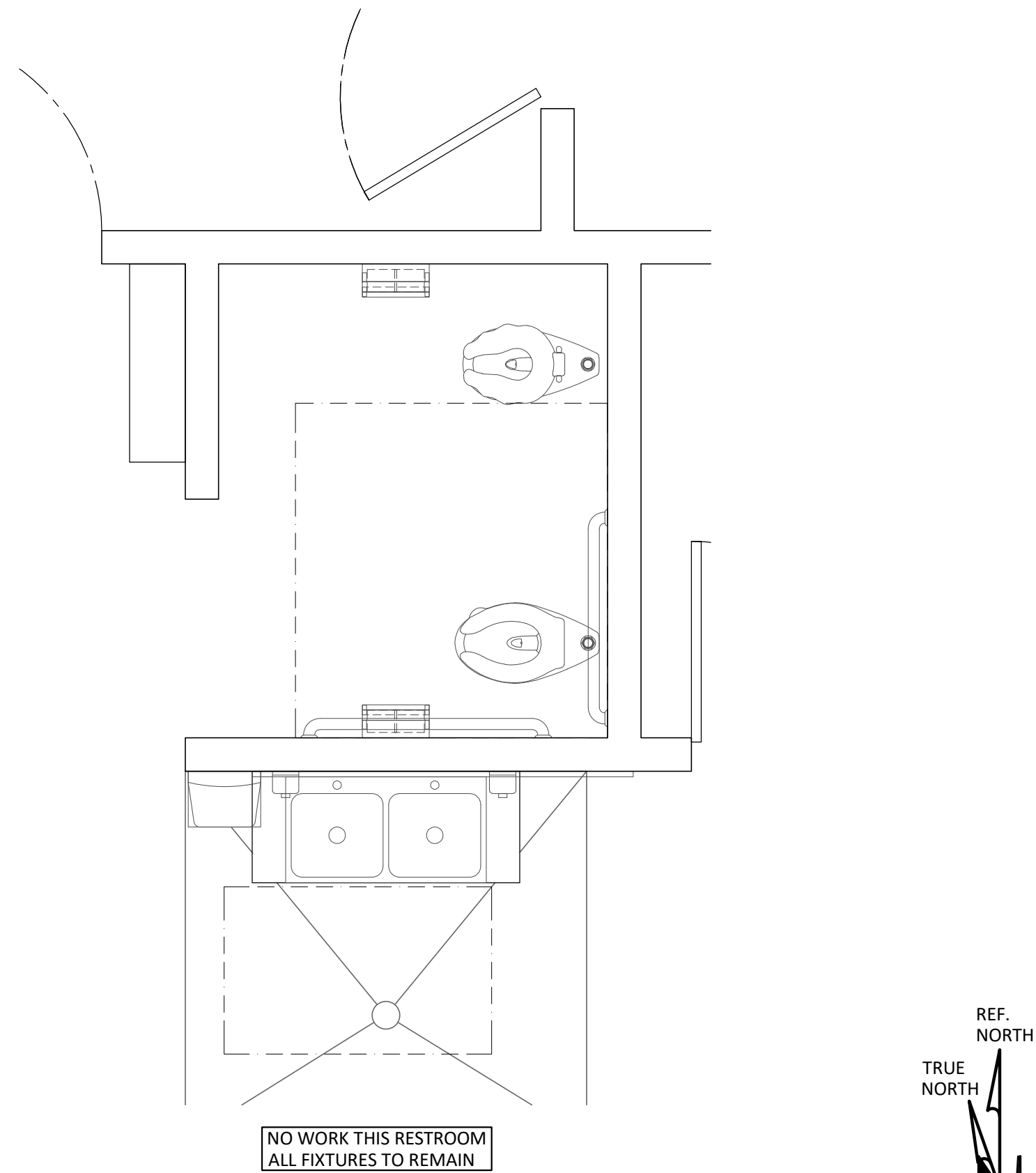
3B ENLARGED RESTROOM - 229 (ALL GENDER) ACCESSIBLE

A1.1 FILE:

SCALE: 1/2"=1'-0"

KEYNOTES:

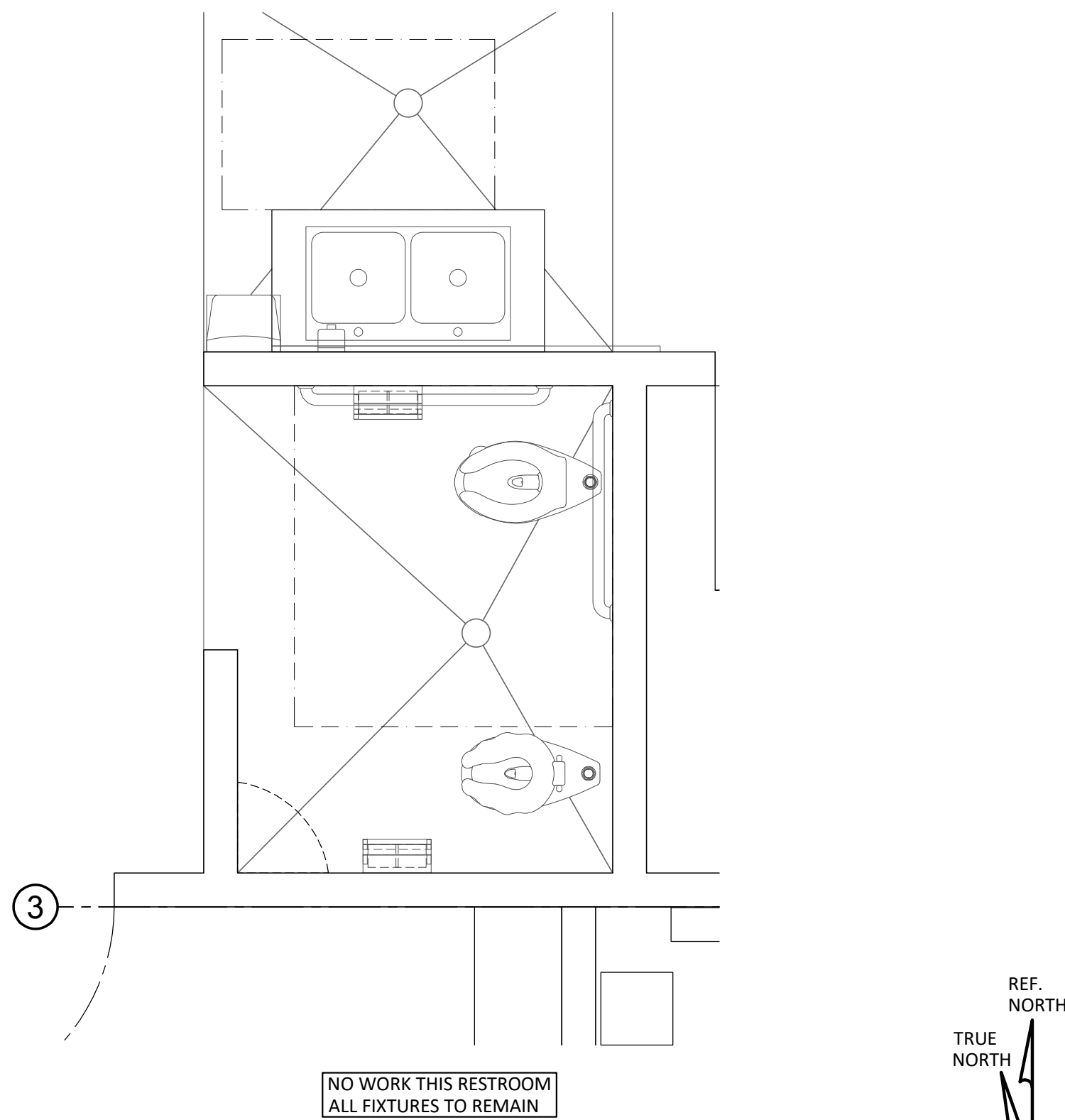
- ADULT RESTROOM KEYNOTES:
- P1 PROVIDE INSUL. WRAP OF DRAIN LINE & SUPPLY LINES PER 11B-606.5.
 - P2 INSTALL WALL HUNG WASTE RECEPTACLE BELOW PAPER TOWEL DISPENSER. SEE DTL. 2C FOR MOUNTING HT.
 - P3 INSTALL WAINSCOT OF 5/8" W.R. TYPE-X GYP. BD. & F.R.P. ON WALL & REINSTALL ALL (E) ACCESSORIES. SEE DTL. 1C
 - P4 INSTALL BABY CHANGING TABLE PER DTL. 5C
 - P5 RELOCATE (E) GRAB BAR TO COMPLY 11B-604.5.2
 - P6 INSTALL RESTROOM SIGNAGE PER DTL. 3B
 - P7 INSTALL ROOM IDENTIFICATION SIGNAGE PER DTL. 4A
 - P8 INSTALL F.R.P. WAINSCOT O/ PATCHED BACK 5/8" GYP. BD. AFTER BACKING IS INSTALLED. SIM TO DTL. 1C
 - CHILD (AGE 2-4) RESTROOM KEYNOTES:
 - P20 INSTALL GRAB BAR ON SIDE WALL ONTO BLK'G PER DTL. 2A
 - INSTALL 36" GRAB BAR @ 18" TO 20" A.F.F. 24" FROM NOSE OF BOWL.
 - P21 PATCH GYP. BD. AS REQ'D TO INSTALL BLK'G & INSTALL F.R.P. WAINSCOT TO +4'-6" A.F.F. SIM TO DTL. 1C



1D ENLARGED RESTROOM - 210

A1.1 FILE:

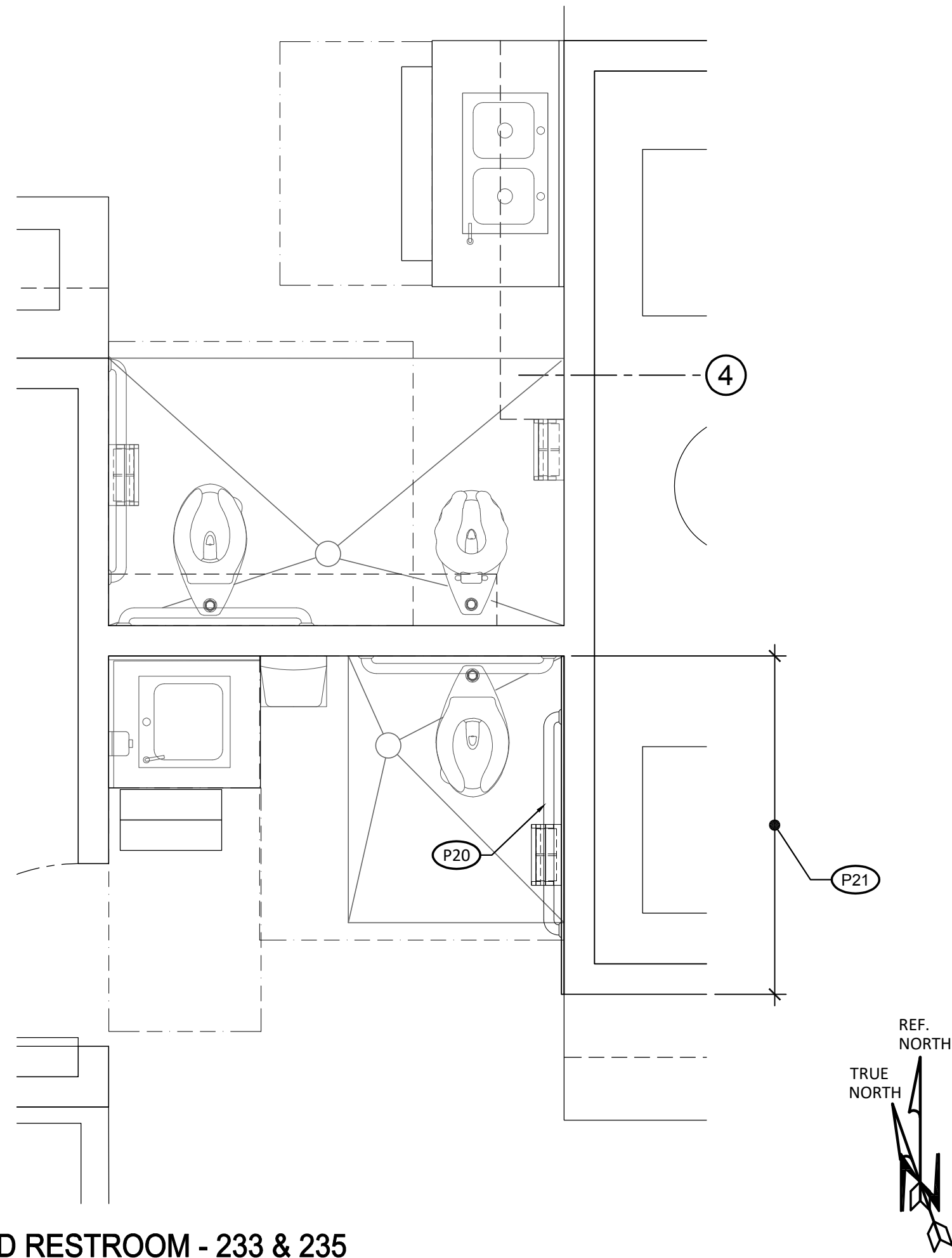
SCALE: 1/2"=1'-0"



3D ENLARGED RESTROOM - 216

A1.1 FILE:

SCALE: 1/2"=1'-0"



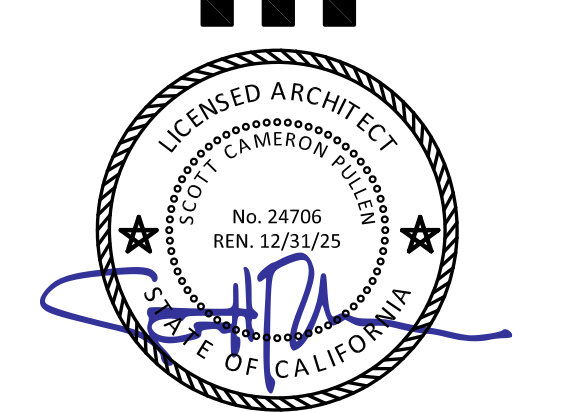
4D ENLARGED RESTROOM - 233 & 235

A1.1 FILE:

SCALE: 1/2"=1'-0"

HMRARCHITECTS

2130 21st Street
Sacramento, CA 95818
T 916 736 2724



DSA #02-123096

FILE #48-C1

SHADE
STRUCTURE
REPLACEMENT

SOLANO COMMUNITY
COLLEGE

4000 SUISUN VALLEY RD.
FAIRFIELD, CA 94534

DSA SET

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

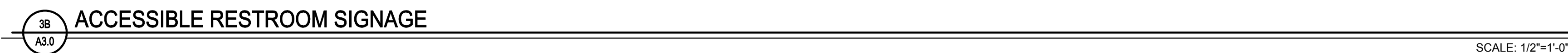
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING
HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED
WORK OF HMR ARCHITECTS AND MAY NOT BE
DUPLICATED, USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF HMR ARCHITECTS

ENLARGED
RESTROOM PLANS

MARCH 20, 2025

DRAWN BY:	LR
CHECKED BY:	4D
IDB NO.	24055

A1.1



SECTION 03 21 00 - REINFORCING BARS

- SECTION 03 30 00 - CAST-IN-PLACE CONCRETE

SECTION 03 30 00 - CAST-IN-PLACE CONCRETE

- CONCRETE:

A. CONCRETE MIX:

- MATERIAL SPECIFICATIONS CONTINUED :

SECTION 05 05 19 - POST-INSTALLED CONCRETE ANCHORS

- ## 2. MATERIALS

A. PRODU

- MATERIAL SPECIFICATIONS CONTINUED :

SECTION 05 50 00 - METAL FABRICATION

- ## FINISH

A.

- SECTION 06 73 00 - COMPOSITE DECKING

MATERIALS:

- ## ACCESSORIES

A. FASTEN

- ## 1. TREX UNIVERSAL HIDEAWAY HIDDEN FASTENERS

TY

TYP. SHADE STRUCTURE - ELEVATION

FILE F-

SCALE: 1/4"=1'-0'

○

4C HANDRAIL BASEPLATE

—

SCALE: 3"=1'-0"

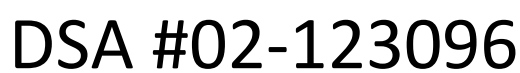
0

 CHAIN LINK MAINTENANCE GATE

A3

SCALE: 1/4"=1'-0'

2130 21st Street
Sacramento, CA 95811
T 916 736 2721



FILE #48-C1



SHADE STRUCTURE REPLACEMENT

SOLANO COMMUNITY
COLLEGE

4000 SUISUN VALLEY RD.
FAIRFIELD, CA 94534



DSA SET

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING
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WRITTEN CONSENT OF HMR ARCHITECTS

DETAILS

MARCH 20, 2025

A3.1

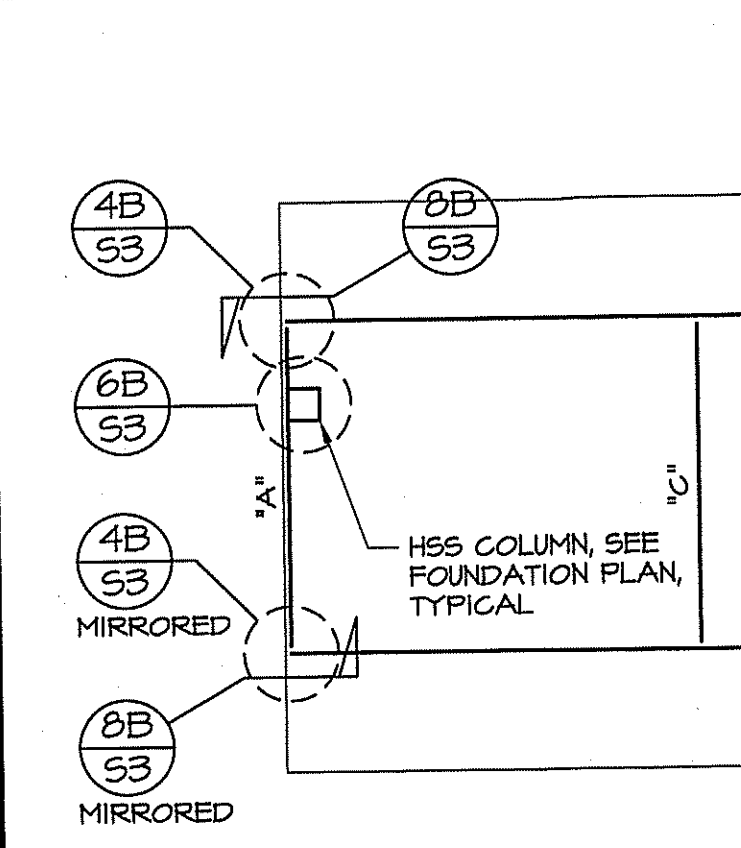
DRAWN BY:
LR

CHECKED BY:
KD

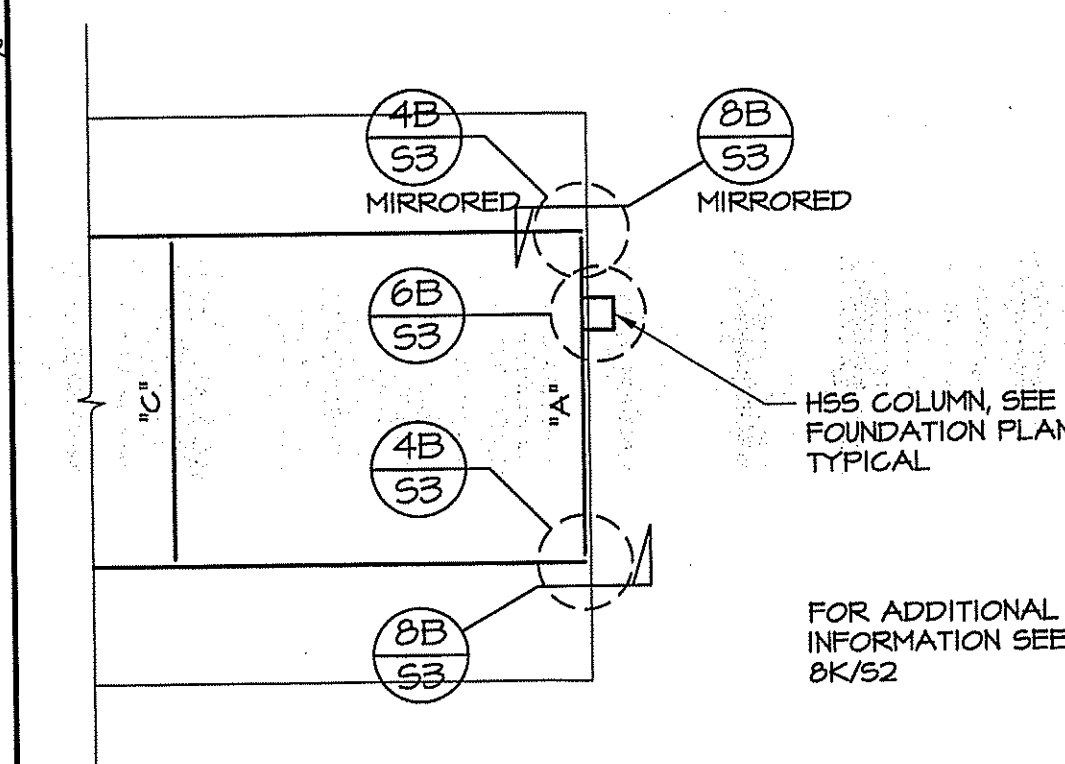
JOB NO.
24055

COLUMN & FOOTING TABLE (NOTE 6)														
COLUMN HEIGHT	ROOF PITCH	LOAD	LOWER SEISMIC ($S_{DS} \leq 1.0$ RISK CATEGORY II) ($S_{DS} \leq 0.8$ RISK CATEGORY III)						HIGHER SEISMIC ($S_{DS} \leq 2.5$ RISK CATEGORY II) ($S_{DS} \leq 2.0$ RISK CATEGORY III) (8)					
			$\leq 12'-0"$ PROJECTION			$\leq 14'-0"$ PROJECTION			$\leq 12'-0"$ PROJECTION			$\leq 14'-0"$ PROJECTION		
			COLUMN SIZE	PILE FOOTING	ALTERNATE SPREAD FOOTING (8B/S1) 1	COLUMN SIZE	PILE FOOTING	ALTERNATE SPREAD FOOTING (8B/S1) 1	COLUMN SIZE	PILE FOOTING	ALTERNATE SPREAD FOOTING (8B/S1) 1	COLUMN SIZE	PILE FOOTING	ALTERNATE SPREAD FOOTING (8B/S1) 1
12' COLUMN HEIGHT	2:12 MAX.	20psf LL/SL 30psf SL	H550x8x1/4	2'-0" x 10'-3" DEEP	4'-3" SQ.x2'-6" THICK (4)	H5510x8x3/16	2'-0" x 11'-9" DEEP	10'-4" SQ.x2'-6" THICK (4)	H550x8x3/16	2'-0" x 11'-10" DEEP	10'-6" SQ.x2'-6" THICK (4)	H5510x8x3/16	2'-0" x 13'-2" DEEP	11'-4" SQ.x2'-6" THICK (5)
	4:12 MAX.	20psf LL/SL 30psf SL	H5510x8x3/16	2'-0" x 12'-2" DEEP	4'-8" SQ.x2'-6" THICK (4)	H5510x8x3/8	2'-0" x 13'-0" DEEP	10'-10" SQ.x2'-6" THICK (4)	H5510x8x3/16	2'-0" x 12'-2" DEEP		H5510x8x3/8		
14' COLUMN HEIGHT	2:12 MAX.	20psf LL/SL 30psf SL	H550x8x1/4	2'-0" x 10'-8" DEEP	4'-8" SQ.x2'-6" THICK (4)	H5510x8x3/16	2'-0" x 12'-2" DEEP	10'-10" SQ.x2'-6" THICK (4)	H550x8x3/16	2'-0" x 12'-3" DEEP	11'-0" SQ.x2'-6" THICK (5)	H5510x8x3/8	2'-0" x 13'-6" DEEP	11'-10" SQ.x2'-6" THICK (5)
	4:12 MAX.	20psf LL/SL 30psf SL	H5510x8x3/16	2'-0" x 12'-6" DEEP	4'-10" SQ.x2'-6" THICK (4)	H5510x8x3/8	2'-0" x 13'-2" DEEP	11'-0" SQ.x2'-6" THICK (5)	H5510x8x3/16	2'-0" x 12'-6" DEEP				
16' COLUMN HEIGHT	2:12 MAX.	20psf LL/SL 30psf SL	H550x8x1/4	2'-0" x 11'-0" DEEP	10'-0" SQ.x2'-6" THICK (4)	H5510x8x3/16	2'-0" x 12'-6" DEEP	11'-3" SQ.x2'-6" THICK (5)	H5510x8x3/8	2'-0" x 12'-8" DEEP	11'-4" SQ.x2'-6" THICK (5)	H5510x8x1/2	2'-0" x 14'-0" DEEP	12'-4" SQ.x2'-6" THICK (5)
	4:12 MAX.	20psf LL/SL 30psf SL	H5510x8x3/8	2'-0" x 12'-8" DEEP	10'-2" SQ.x2'-6" THICK (4)	H5510x8x1/2	2'-0" x 13'-6" DEEP			2'-0" x 12'-8" DEEP				

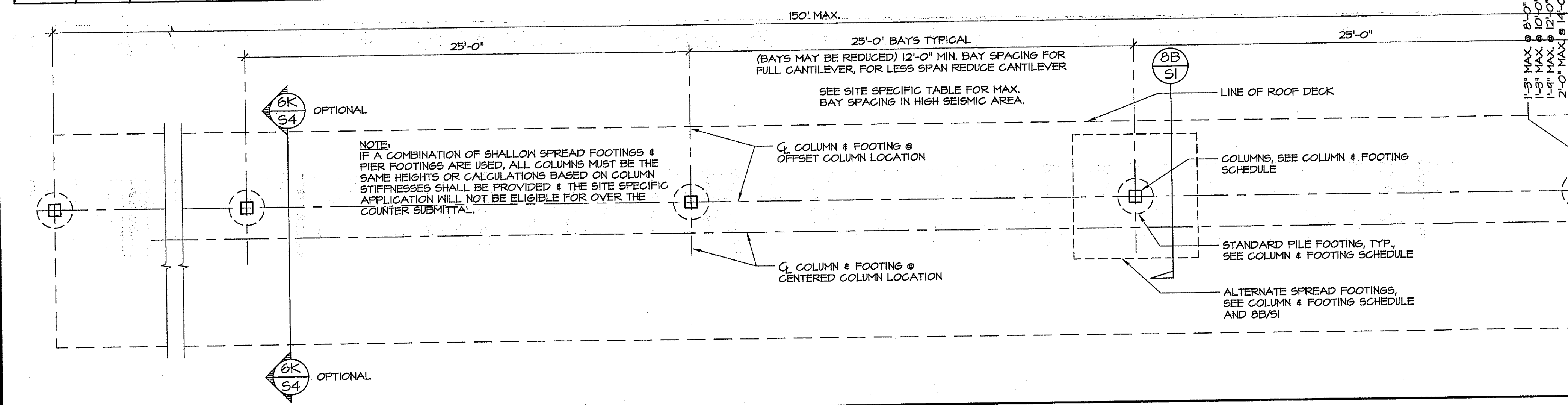
- NOTES:
- ALTERNATE SPREAD FOOTINGS ARE OPTIONAL FOOTINGS @ AN ADDITIONAL COST. NO SNOW LOAD ALLOWED W/ 3 P.S.F. MISC. DEAD LOAD.
 - COLUMN EMBEDMENT OF PILE FOOTING TO EXTEND INTO FOOTING 3'-6" MAX. FROM BOTTOM. SEE SECTION 6K/52.
 - PROVIDE 8-#6 REBARS EACH WAY @ TOP & BOTTOM OF FOOTING. PROVIDE 10-#6 REBARS EACH WAY @ TOP & BOTTOM OF FOOTING.
 - IF SITE SPECIFIC PROJECT IS LOCATED IN A FLOOD ZONE OTHER THAN ZONE X, A LETTER STAMPED AND SIGNED FROM A SOILS ENGINEER IS REQUIRED TO VALIDATE THE ALLOWABLE SOIL VALUES SPECIFIED ON THIS P.C. SEE GENERAL NOTES NUMBER 11.
 - MINIMUM PIER SPACING IS 3 DIAMETERS. S_{ds} MAXIMUM OR REDUCE BAY SPACING.
 - SEE SITE SPECIFIC INFORMATION TABLE ON SHEET S1.
 - IF THE STRUCTURE IS LOCATED NEAR A SLOPE, THE ARCHITECT SHALL SHOW COMPLIANCE WITH IRC PC-7 SECTION 5.8 OR NOTIFY THE P.C. ENGINEER.



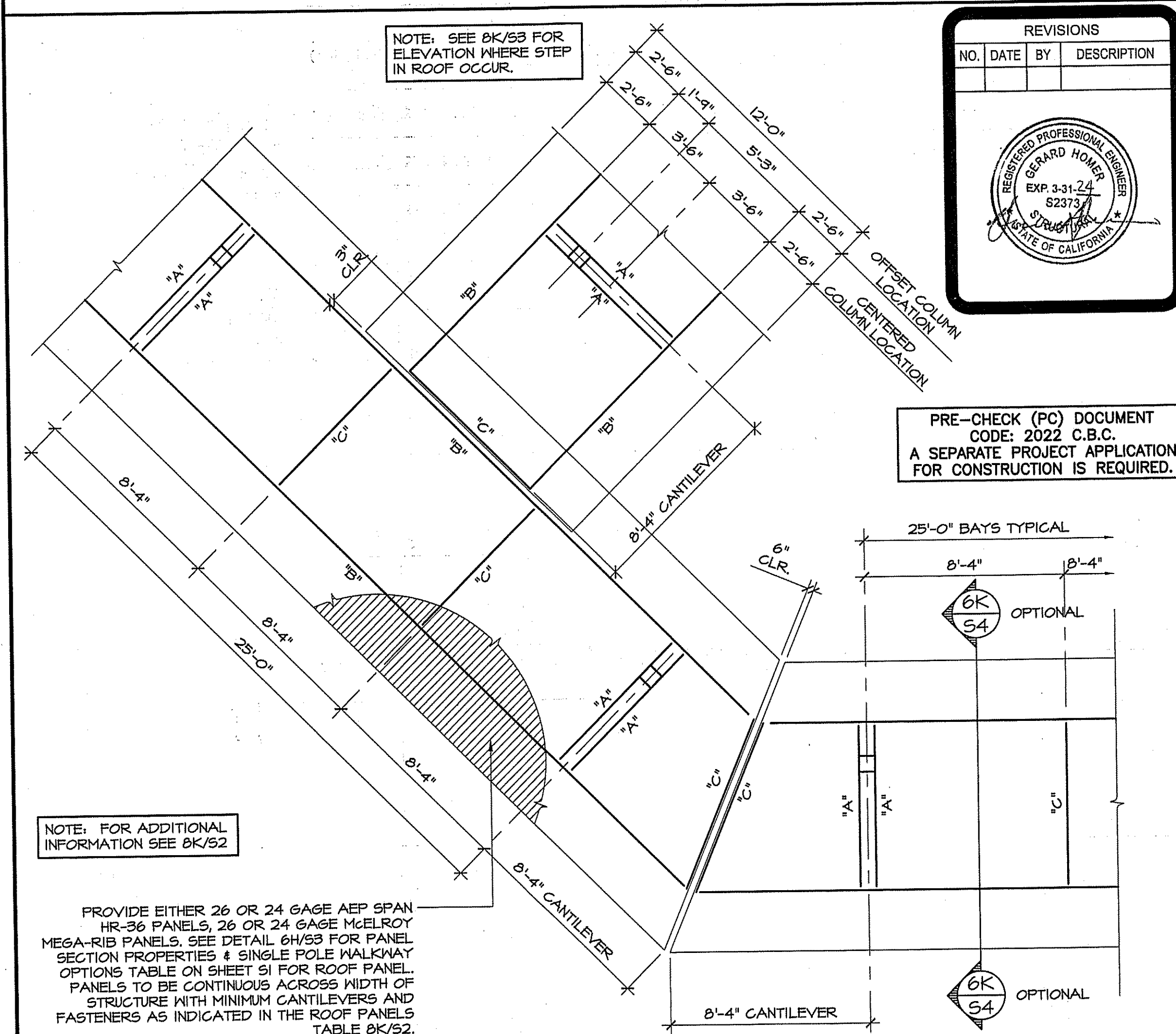
PLAN @ UPPER ROOF WHERE STEP OCCURS



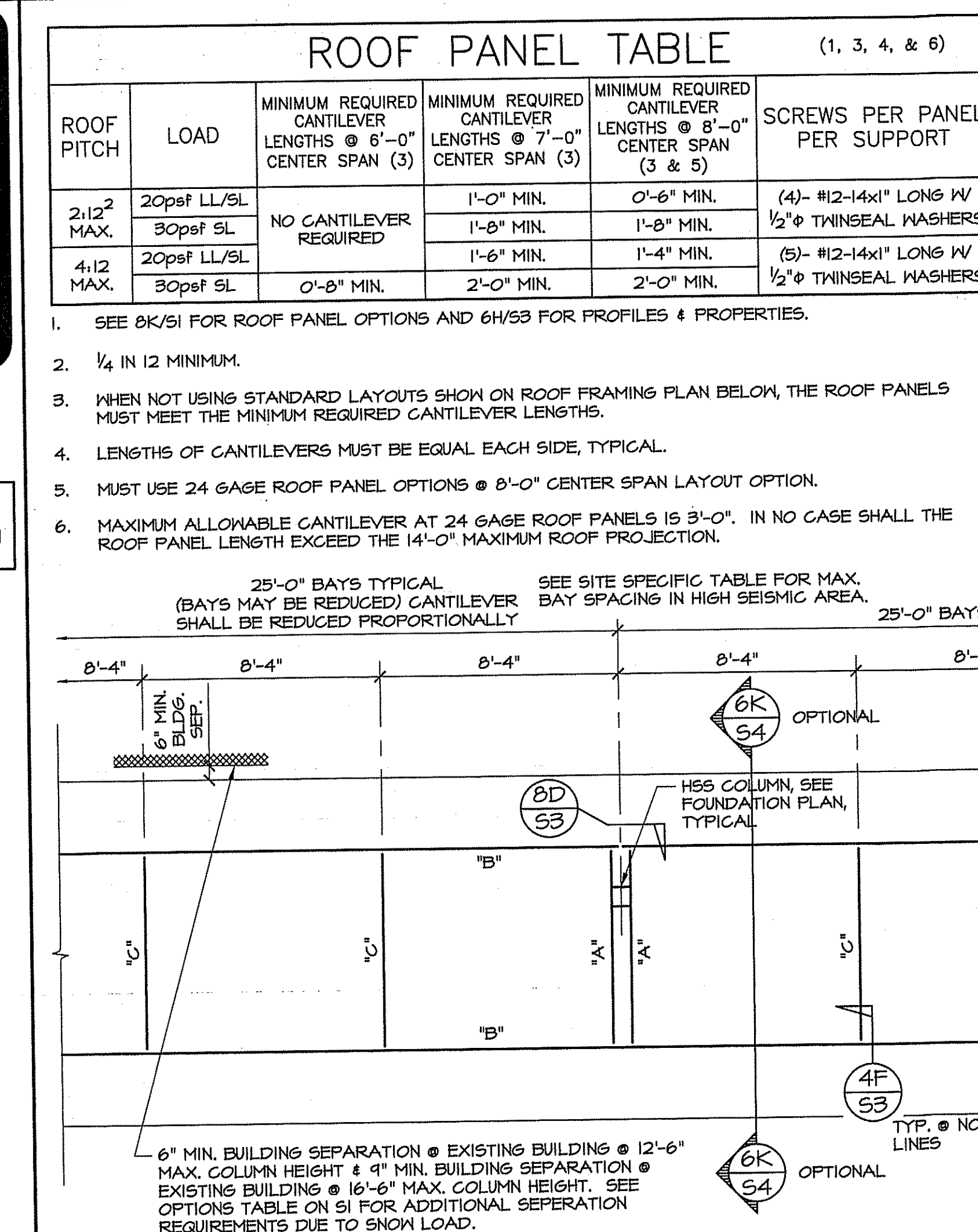
PLAN @ LOWER ROOF WHERE STEP OCCURS



FOUNDATION PLAN



ROOF FRAMING PLAN @ 45° OPTION

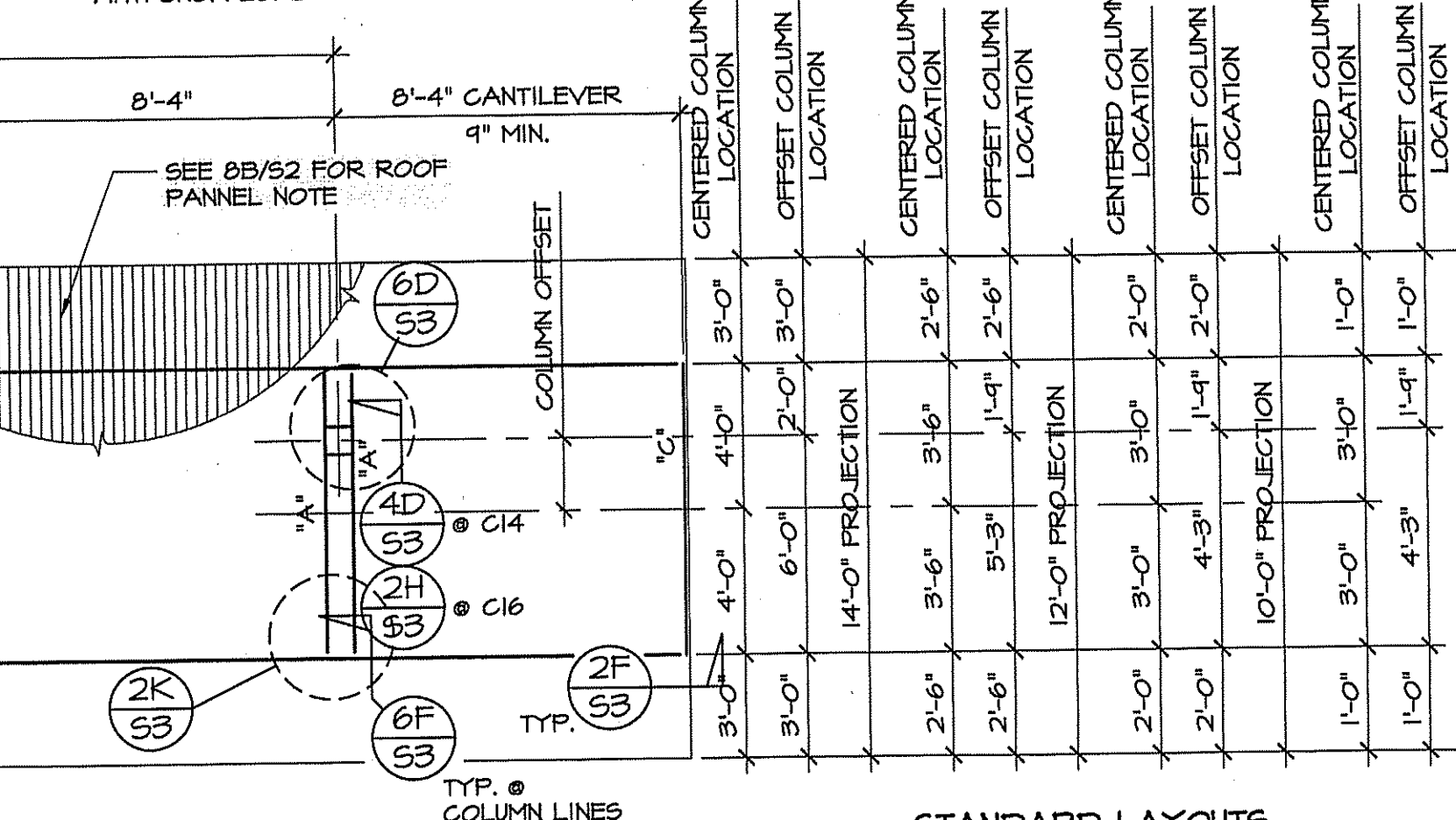


ROOF FRAMING PLANS

SCALE 1/4" = 1'-0" 4H ROOF FRAMING PLAN SCALE 1/4" = 1'-0" 4K

BEAM TABLE							
PITCH	PROJECTION	LOADING	COLUMN OFFSET	CROSS BEAM "A"	SIDE BEAM "B"	BLOCKING & END CLOSURES "C"	
1/4:12 MIN. 2:12 MAX.	$\leq 12'-0"$ $\leq 14'-0"$	20psf LL/SL	0'-0" TO 1'-4"	C14x2 1/2x12 GAGE	C14x2 1/2x12 GAGE	C14x2 1/2x12 GAGE	
		30psf SL	0'-0" TO 1'-4"	C14x2 1/2x12 GAGE	C14x2 1/2x12 GAGE	C14x2 1/2x12 GAGE	
4:12 MAX.	$\leq 12'-0"$ $\leq 14'-0"$	20psf LL/SL	0'-0" TO 1'-4"	C14x2 1/2x12 GAGE	C14x2 1/2x12 GAGE	C14x2 1/2x12 GAGE	
		30psf SL	0'-0" TO 1'-4"	C14x2 1/2x12 GAGE	C14x2 1/2x12 GAGE	C14x2 1/2x12 GAGE	

NO 3 P.S.F. MISC. DEAD LOAD ALLOWED WITH SNOW LOAD



STANDARD LAYOUTS

NOTE: SEE 6K/53 FOR ELEVATION WHERE STEP IN ROOF OCCURS. SEE 6K/52 WHERE NO STEP IS REQUIRED.

SCALE 1/4" = 1'-0" 8K

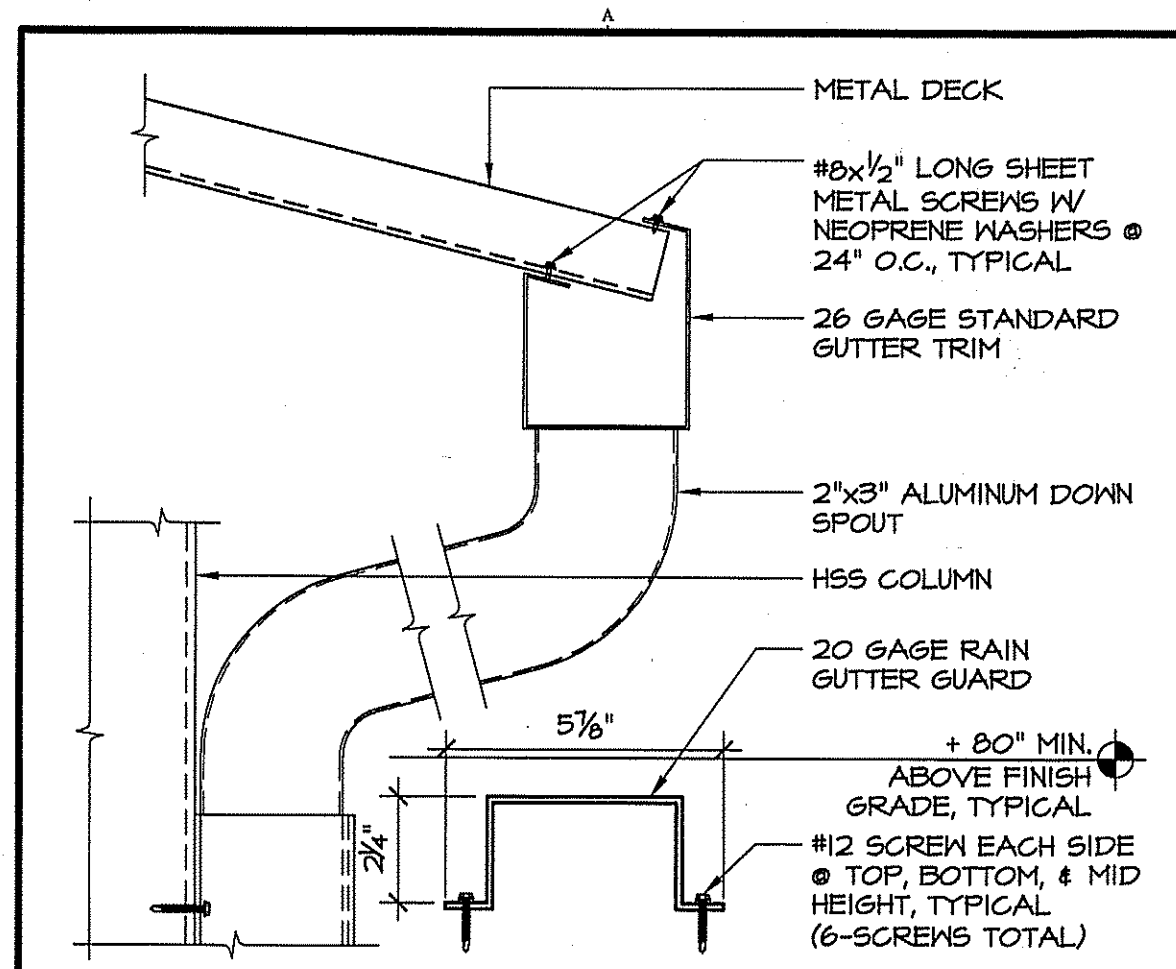
PROJECT: SINGLE POST WALKWAY COVER VALLEY SCHOOL SHELTERS

IDENTIFICATION STAMP
APP: 02/27/24
REVIEWED FOR
SS 17 FLS 11/14/2023

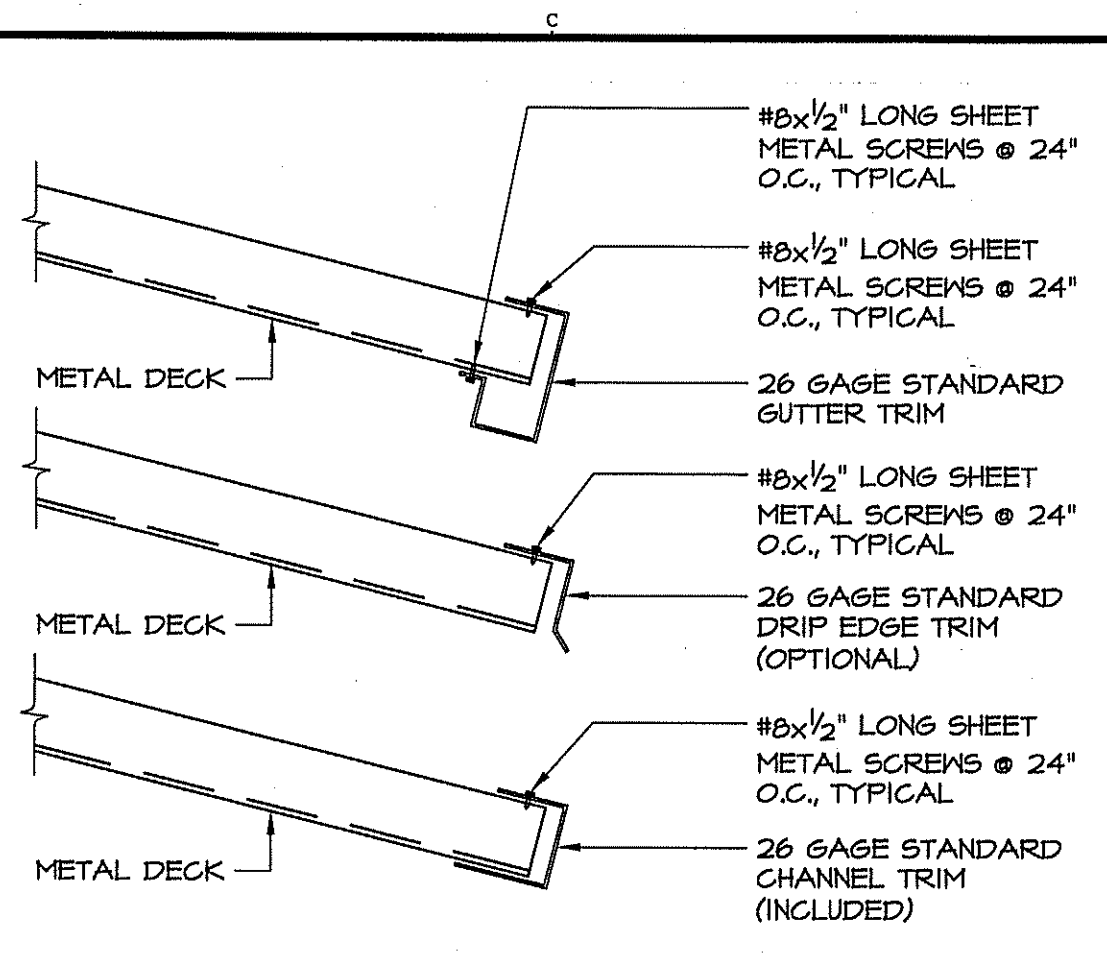
16765 SPYERT SCHOOL RD.
HOLLAND, TX. 75334
PH: (659) 734-6675
Email: ghomere@tmail.com

DWN BY: B.G.H. CHKD BY: G.B.H.
DATE: 8/30/23
PROJECT NO: 23020
DRAWING TITLE
ROOF FRAMING PLANS

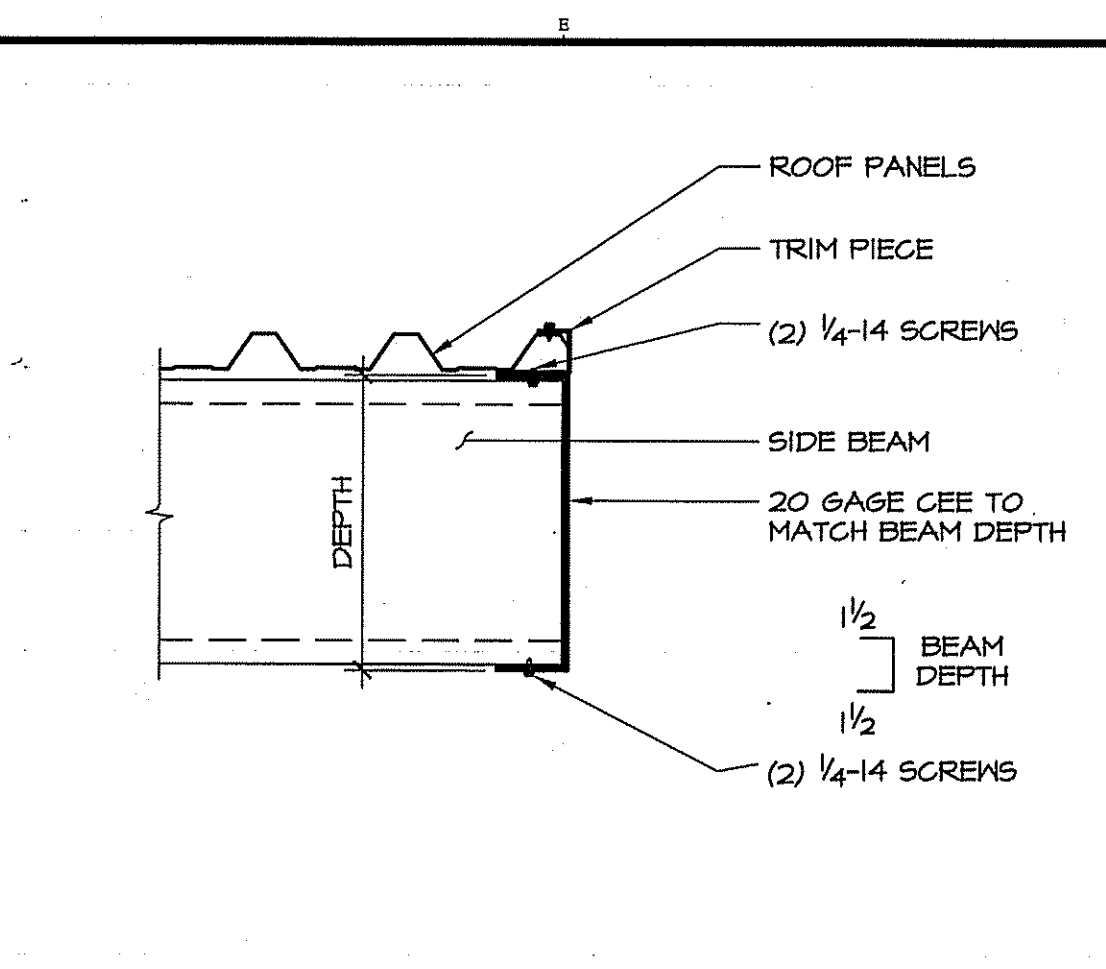
SHEET NUMBER
S2
OF 4 SHEETS



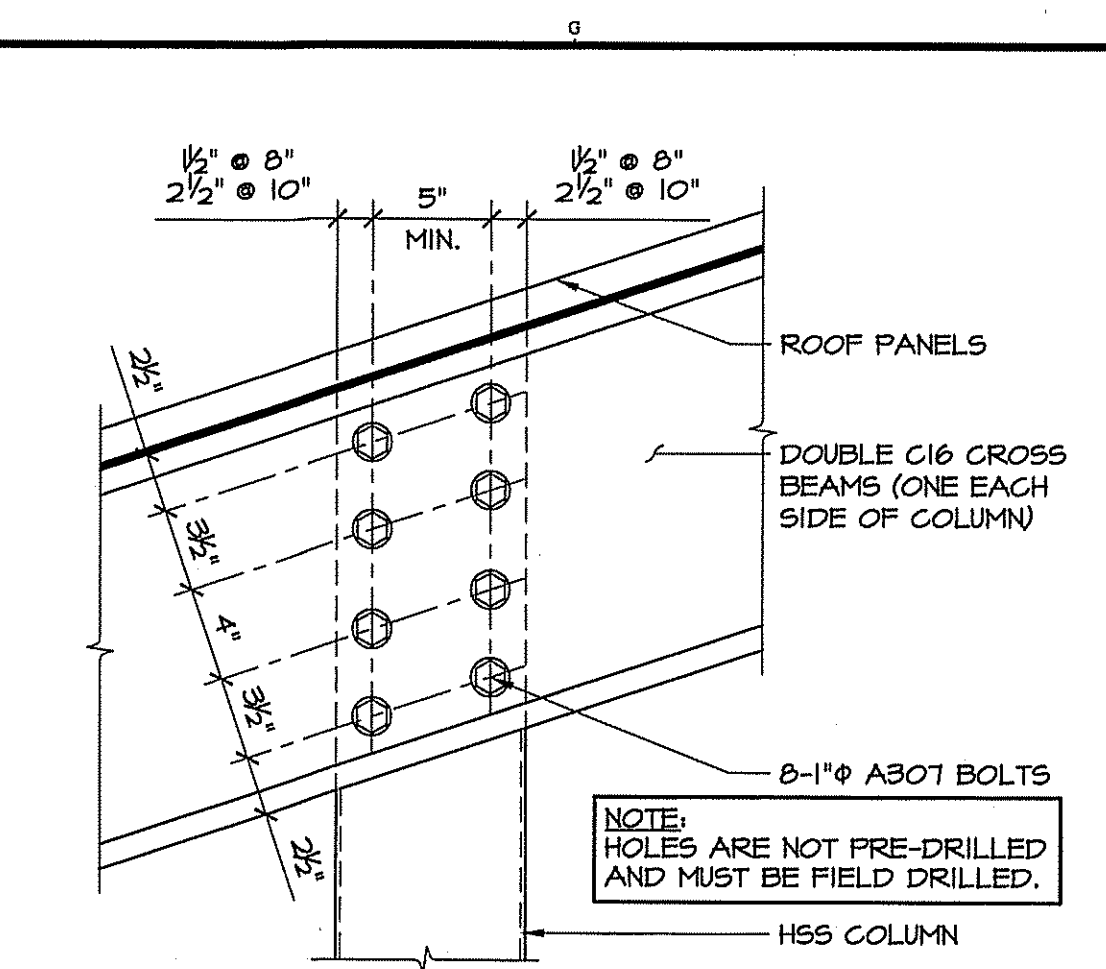
BOX GUTTER SCALE 3" = 1'-0" 2B



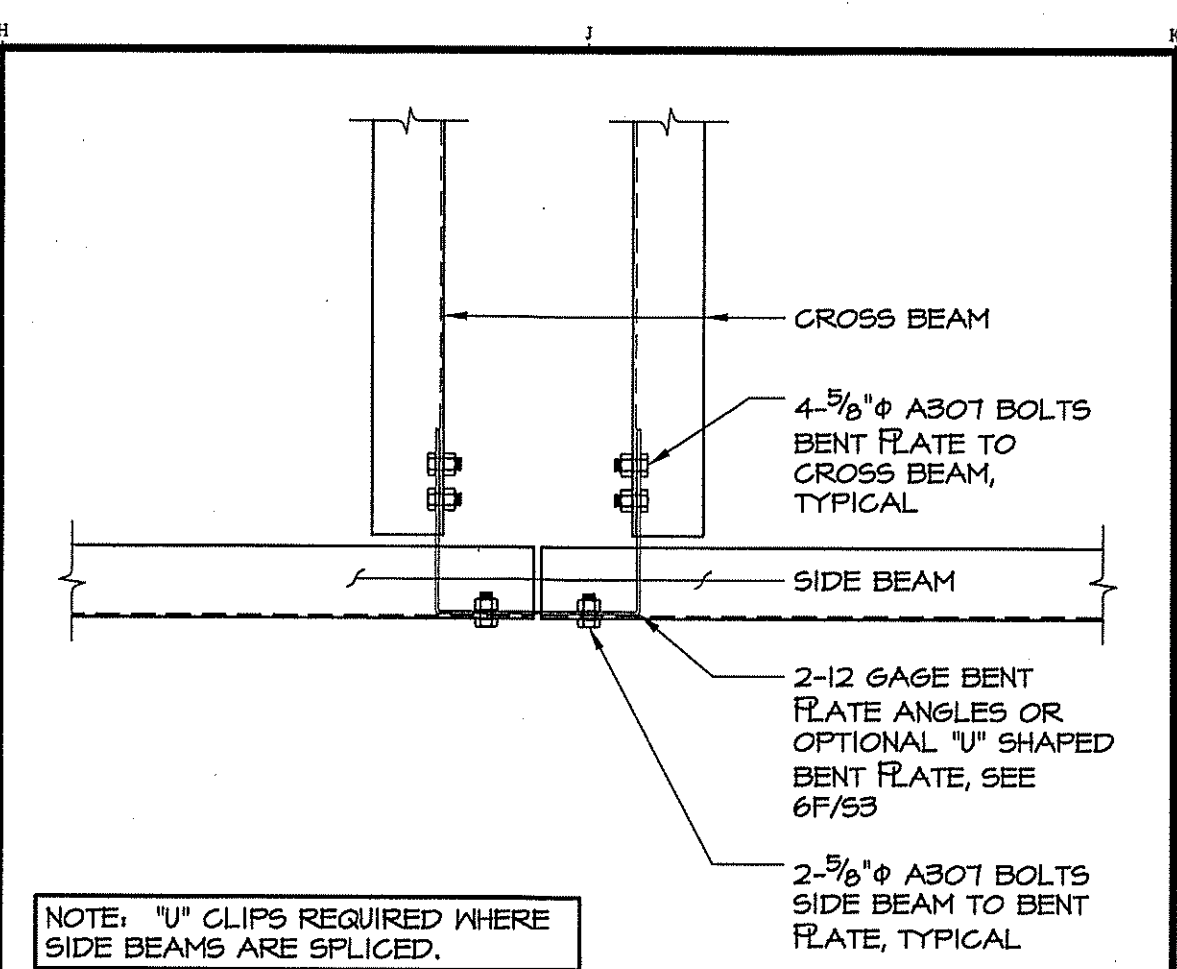
FASCIA OPTIONS SCALE 3" = 1'-0" 2D



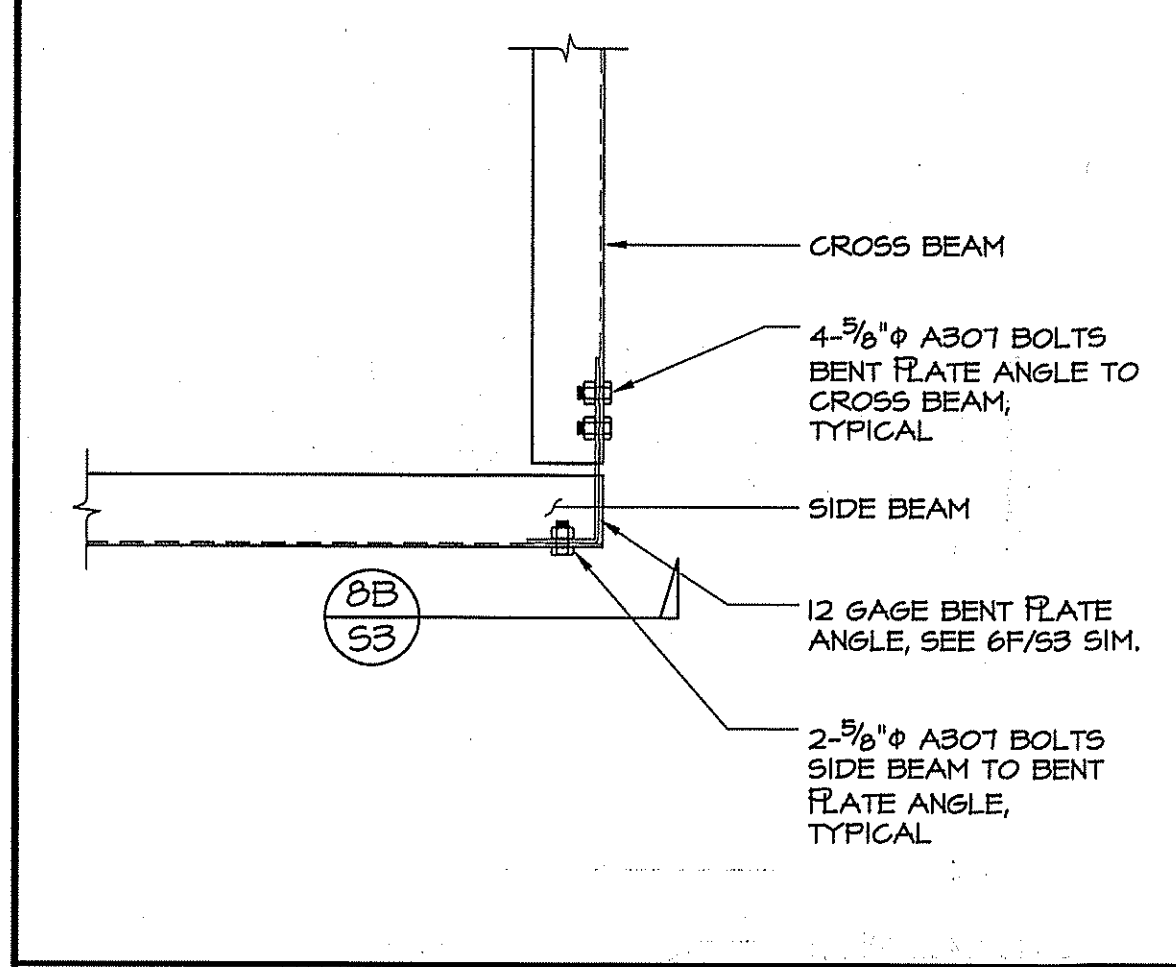
BEAM END SCALE 1 1/2" = 1'-0" 2F



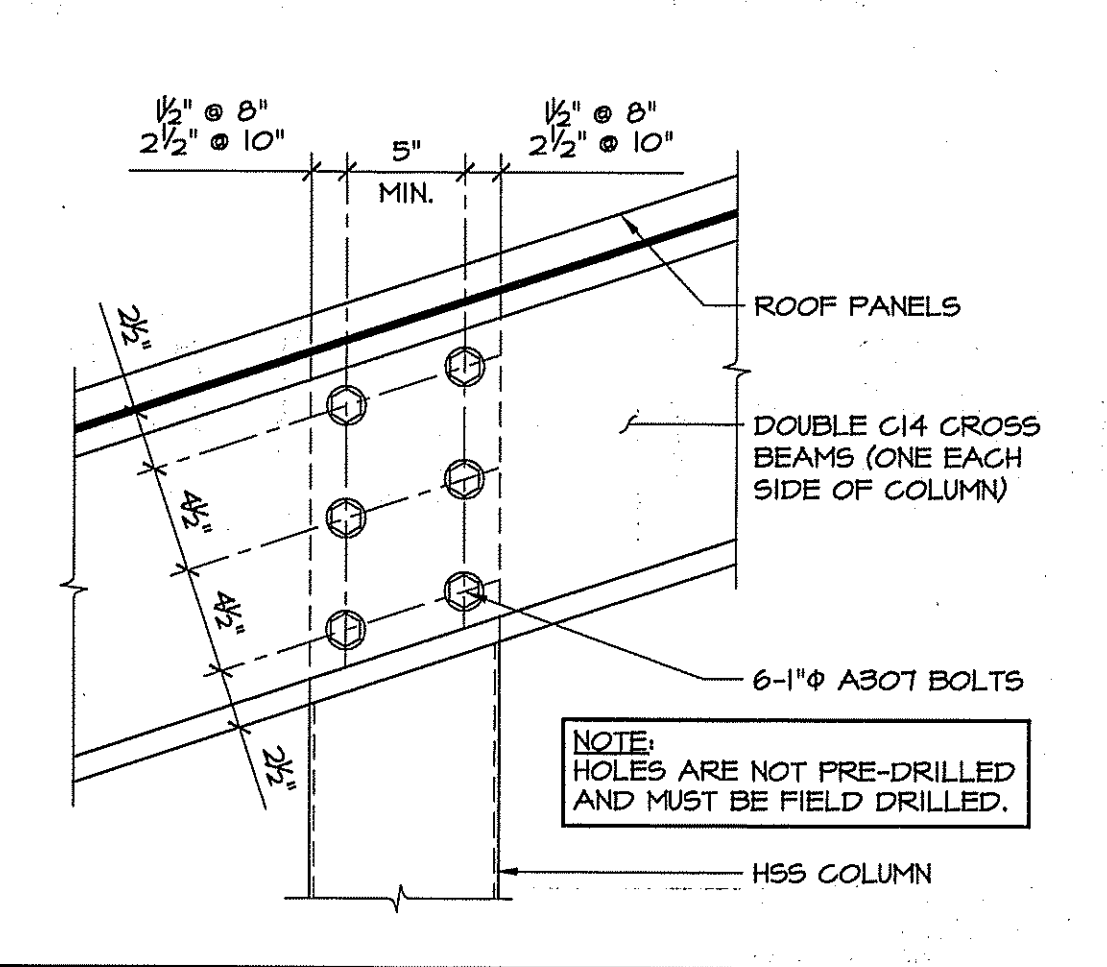
16" CROSS BEAM TO COLUMN SCALE 1 1/2" = 1'-0" 2H



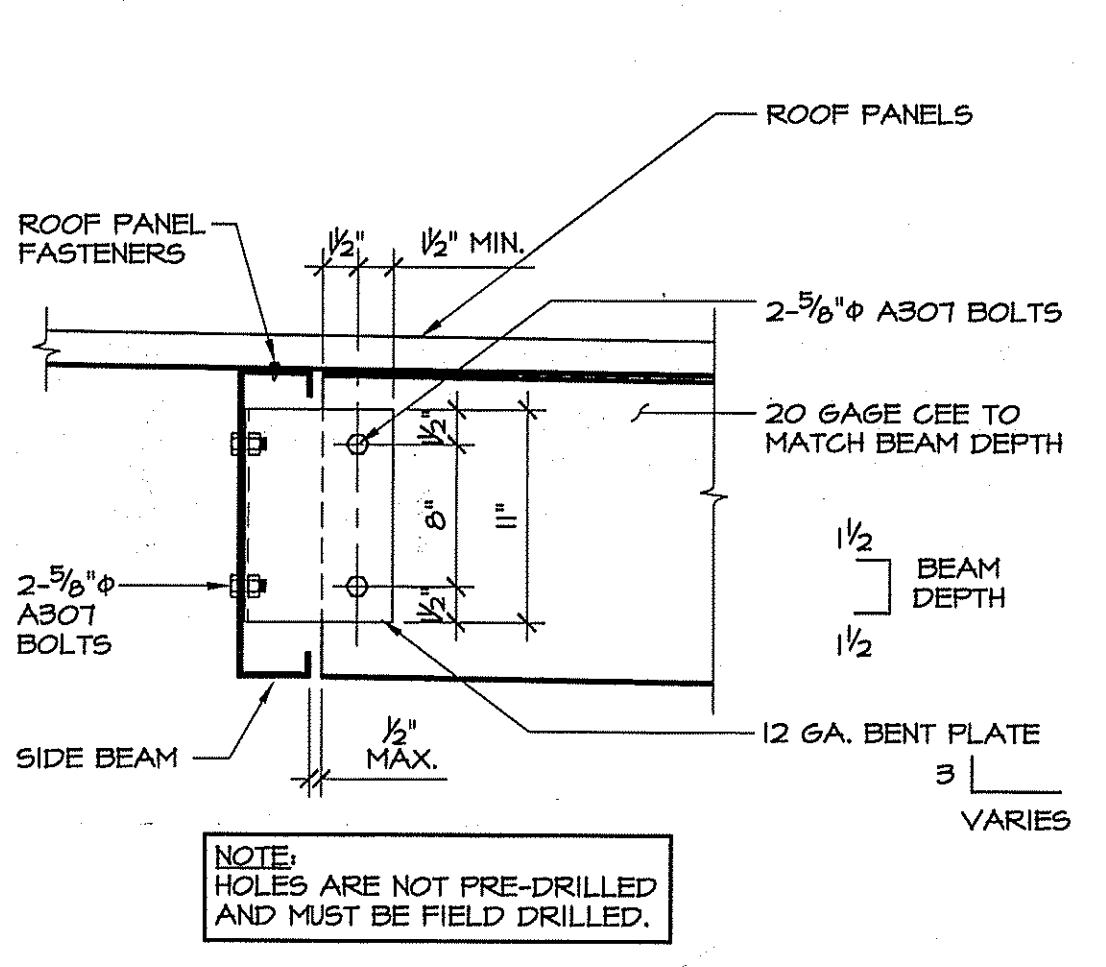
SIDE BEAMS TO CROSS BEAMS SCALE 1 1/2" = 1'-0" 2K



BEAM TO BEAM SCALE 1 1/2" = 1'-0" 4B



14" CROSS BEAM TO COLUMN SCALE 1 1/2" = 1'-0" 4D



BRACE TO BEAM SCALE 1 1/2" = 1'-0" 4F

SECTION PROPERTIES ARE EFFECTIVE SECTION PROPERTIES TYP.

5TH SCREW @ PITCHES > 2:12 ONLY

3'-0" NET COVERAGE

F_y = 80,000 PSI PER ASTM A653 OR ASTM A792
F_y = 50,000 PSI @ 24 GAUGE PANELS ONLY

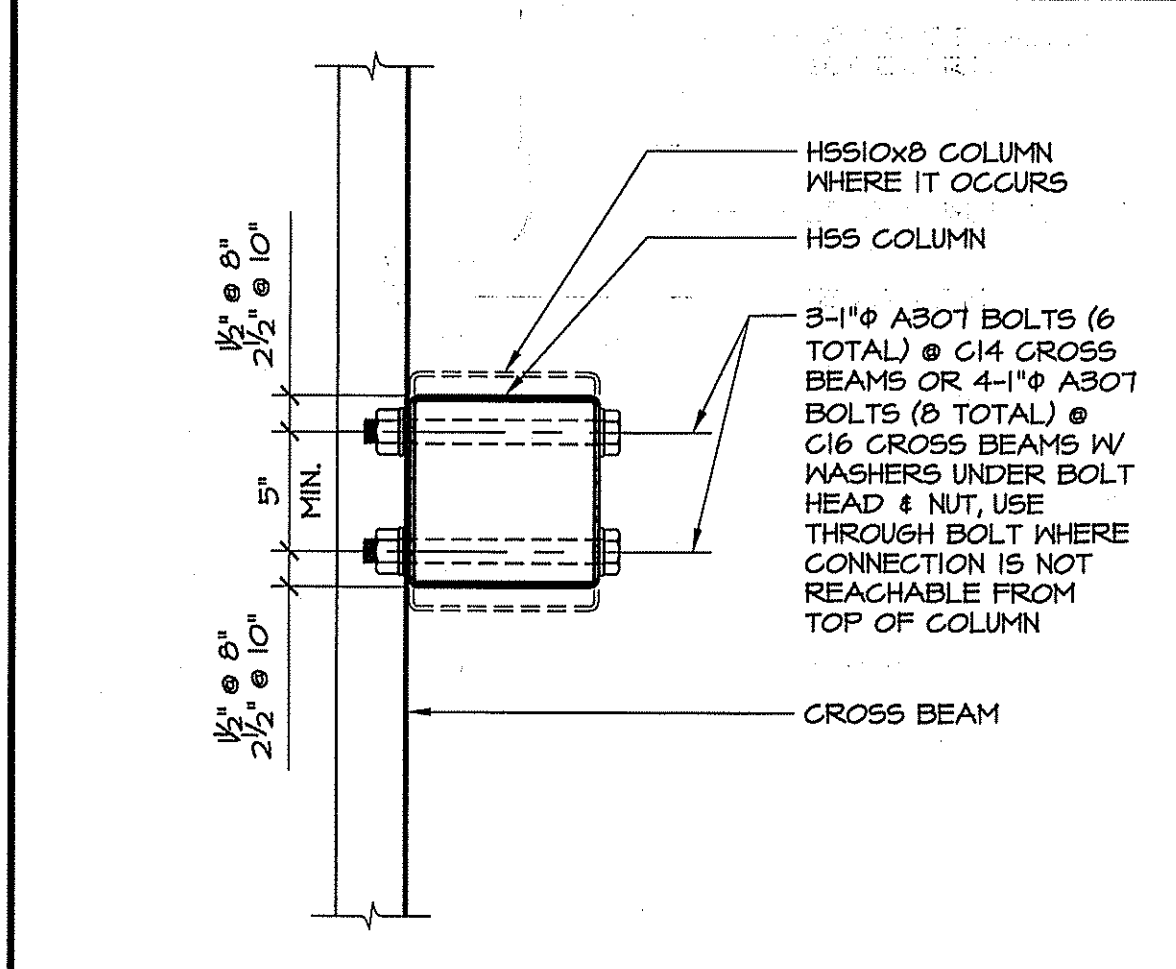
AEP SPAN HR-36 SECTION PROPERTIES

GAUGE	Wt. (lbs./ft.)	I _x (in. ⁴ /ft.)	S _x (in. ³ /ft.)	I _y (in. ⁴ /ft.)	S _y (in. ³ /ft.)
24	1.2	0.1116	0.1234	0.1141	0.1156
26	0.98	0.0825	0.0845	0.0838	0.0839

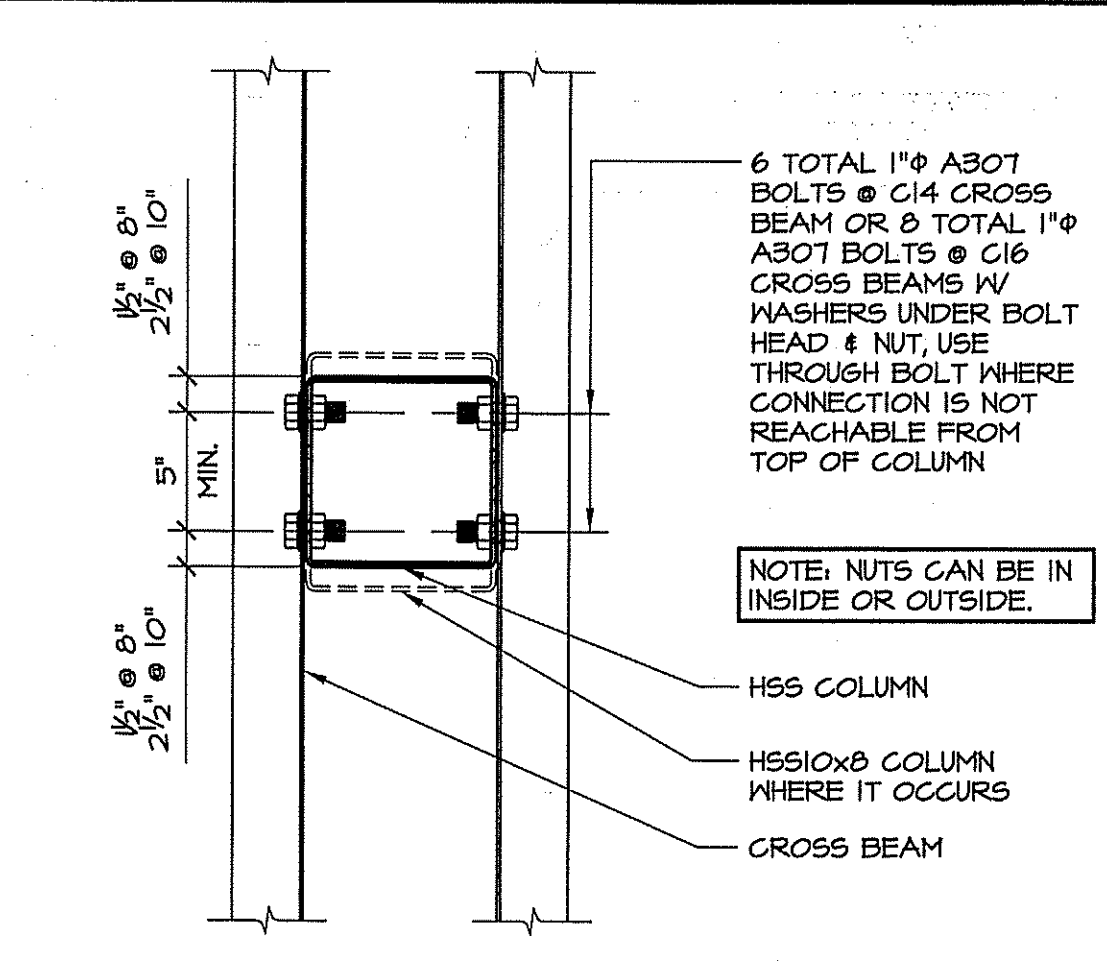
McELROY MEGA-RIB SECTION PROPERTIES

GAUGE	Wt. (lbs./ft.)	I _x (in. ⁴ /ft.)	S _x (in. ³ /ft.)	I _y (in. ⁴ /ft.)	S _y (in. ³ /ft.)
24	1.22	0.1038	0.1228	0.1038	0.1228
26	0.98	0.0761	0.0841	0.0761	0.0841

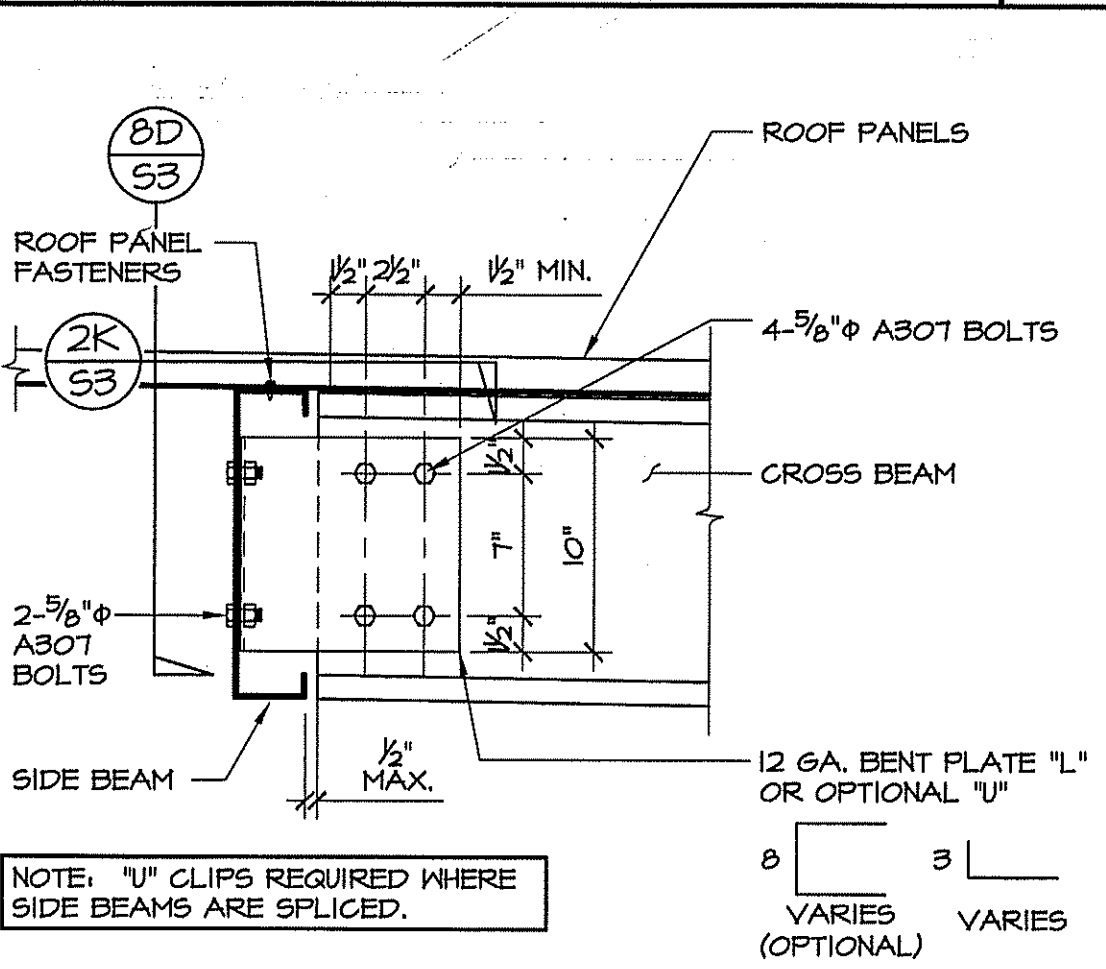
SECTION PROPERTIES ARE EFFECTIVE SECTION PROPERTIES TYP.



BEAM TO COLUMN SCALE 1 1/2" = 1'-0" 6B



BEAM TO COLUMN SCALE 1 1/2" = 1'-0" 6D



BEAM TO BEAM SCALE 1 1/2" = 1'-0" 6F

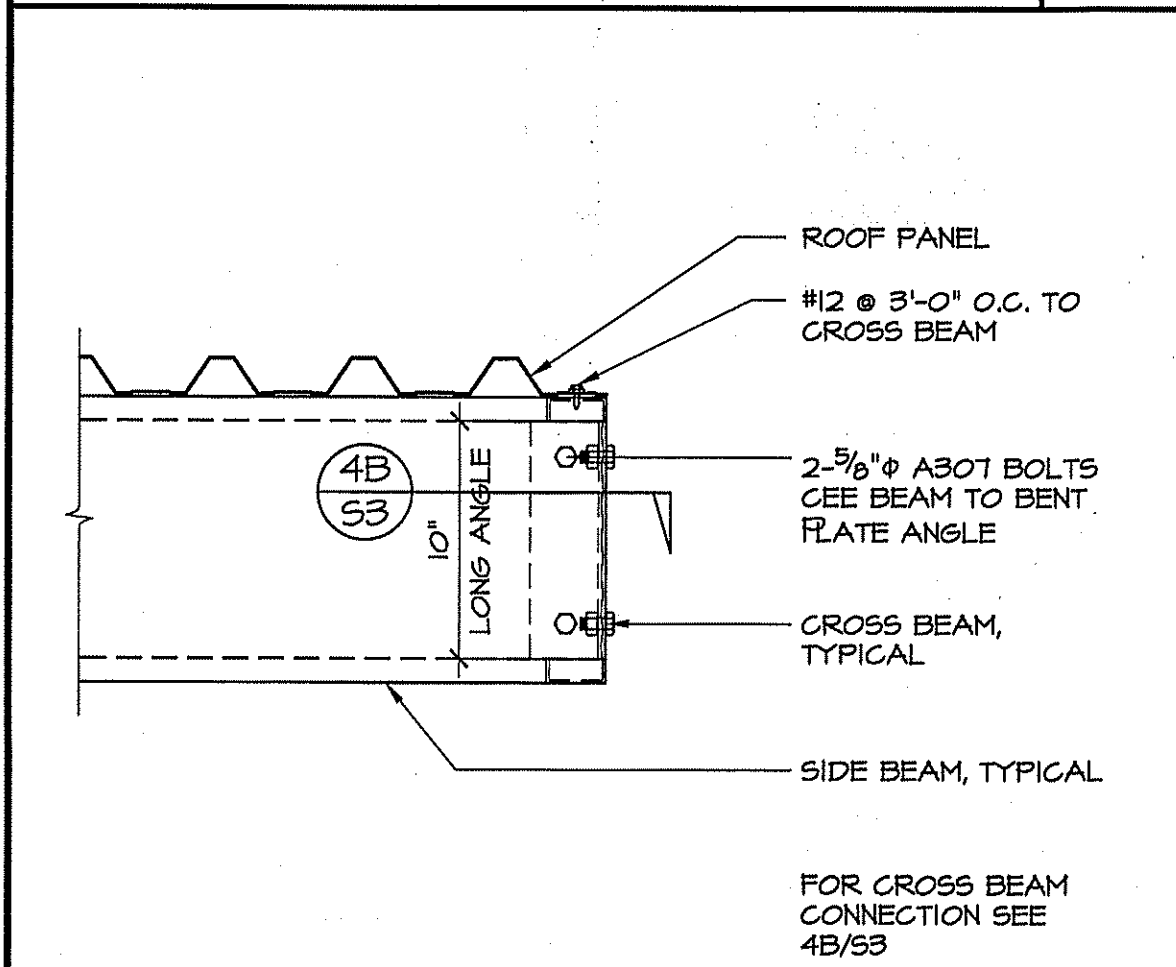
20 GAUGE BLOCKING F_y = 33 KSI MIN. F_v = 45 KSI

10 & 12 GAUGE STRUCTURAL BEAMS F_y = 55 KSI MIN. ASTM A653, F_v = 70 KSI

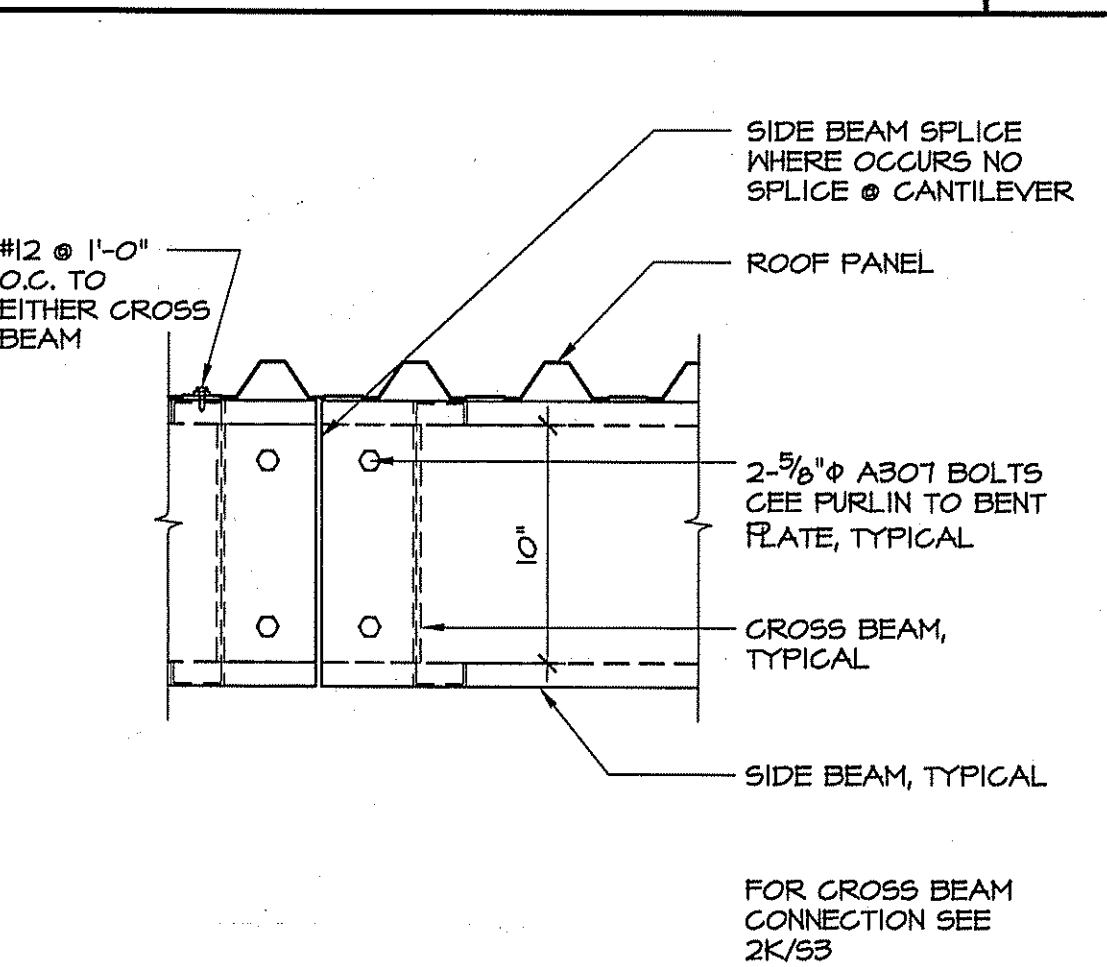
CEE SECTION PROPERTIES

SECTION	DxB	GAUGE	WEIGHT	AXIS X-X		AXIS Y-Y		L
				I _x	S _x	I _y	S _y	
C14x1 1/2	20	2.05	0.117	7.043	0.742	0.068	0.05	-
C14x2 1/2	12	7.14	1.14	53.354	7.622	1.414	0.715	0.916
C16x1 1/2	20	2.24	0.1172	9.492	0.853	0.069	0.051	-
C16x3 1/2	10	11.02	1.8	112.26	13.517	4.32	1.582	0.984
C18x2 1/2	10	10.54	1.619	118.0	12.233	1.84	0.847	0.916
C18x1 1/2	20	2.54	0.1174	12.261	0.964	0.07	0.051	-
C18x2 1/2	12	8.57	1.149	100.08	9.8	1.49	0.725	0.916

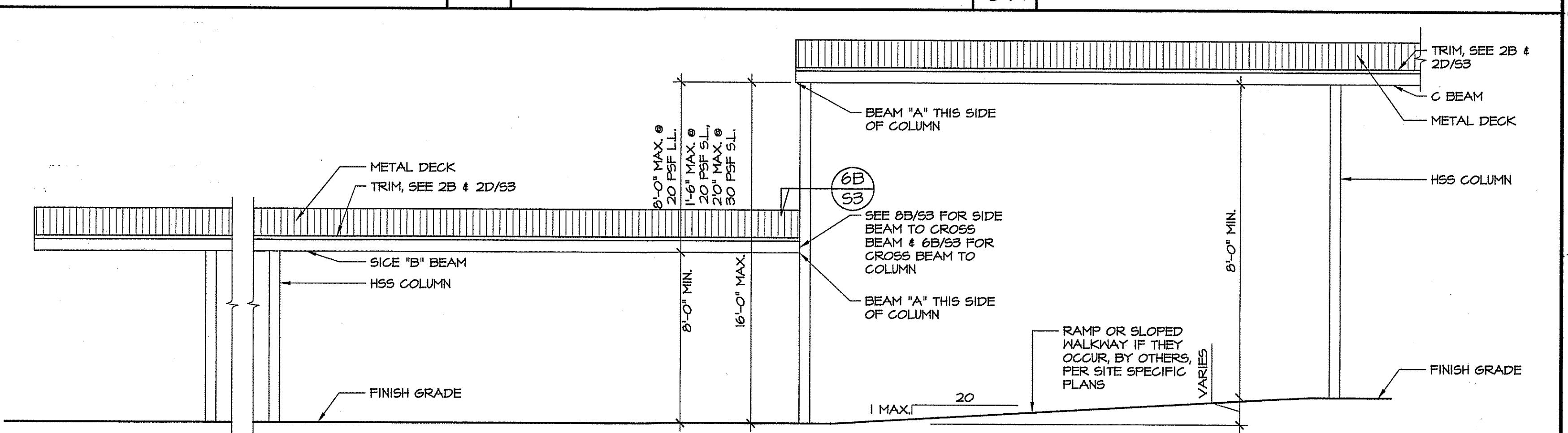
MATERIAL PROPERTIES SCHEDULES 6H



BEAM TO BEAM SCALE 1 1/2" = 1'-0" 8B



SIDE BEAM SPLICE SCALE 1 1/2" = 1'-0" 8D



ELEVATION SCALE 1/4" = 1'-0" 8K

REVISIONS

NO.	DATE	BY	DESCRIPTION

REGISTERED PROFESSIONAL ENGINEER
GRAND HOMER
EXP. 3-31-24
S2373
STATE OF CALIFORNIA

PRE-CHECK (PC) DOCUMENT
CODE: 2022 C.B.C.
A SEPARATE PROJECT APPLICATION
FOR CONSTRUCTION IS REQUIRED.

PROJECT: SINGLE POST WALKWAY COVER VALLEY SCHOOL SHELTERS

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 02-12-14 PC
REVIEWED
DATE: 9/1/2023

18766 SYBERT SCHOOL RD.
HOLLAND, TX. 76634

Grand Homer and Associates
STRUCTURAL ENGINEERS
PH: (569) 734-6675
Email: ghomerse@gmail.com

DWN BY: B.G.H. CHKD BY: B.G.H.

DATE: 8/30/23

PROJECT NO: 23020 24134

DRAWING TITLE
SECTION TYPICAL ELEVATION DETAILS

SHEET NUMBER
S3
OF 4 SHEETS

.....



1

1

DATE: 8/30/23

PROJECT NO: 23020

DRAWING TITLE

SECTION TYPICAL ELEVATION DETAILS

SHEET NUMBER

S4
OF 4 SHEETS



SCALE $\frac{1}{4}" = 1'-0"$ 6k

SLOPED SITE FIGURE

SCALE $\frac{1}{4}" = 1'-0"$ 8D



SCALE $1\frac{1}{2}" = 1'-0"$ 8+

REGISTERED PROFESSIONAL ENGINEER
GERARD HOMER
EXP. 3-31-74
S2373
STATE OF CALIFORNIA

PRE-CHECK (PC) DOCUMENT
CODE: 2022 C.B.C.
A SEPARATE PROJECT APPLICATION
FOR CONSTRUCTION IS REQUIRED.

DATE: 8/30/23

PROJECT NO: 23020

DRAWING TITLE

SECTION TYPICAL ELEVATION DETAILS

SHEET NUMBER

S4
OF 4 SHEETS

**Solano Community College District
BUILDING 200 SHADE STRUCTURES AND SANDBOX PROJECT
ADDENDUM 01**

DOCUMENT 00 11 16

NOTICE TO BIDDERS

1. Notice is hereby given that the governing board ("Board") of the **Solano Community College District** ("District") will receive sealed bids for the following project ("Project" or "Contract"):

BUILDING 200 SHADE STRUCTURES AND SANDBOX PROJECT

2. The Project consists of:

Scope of work will include, but may not be limited to, demolition of three (3) existing wood shade structures, installation of four (4) new-prefabricated owner-furnished shade structures (three (3) of the four (4) new shade structures will replace the existing three (3) wood structures, and one (1) is for a new location), construction of one (1) new concrete children's sandbox, and minor site and restroom improvements. Contractor shall also provide all equipment, materials and labor to unload owner-furnished shade structure material from delivery truck at a District approved storage location approximately 1000 feet away from project site, and relocating shade structure material from storage area to project site for installation. Contractor shall include in their proposal, equipment rated for a minimum of 5,000 lbs. to off-load material from truck, and three (3) non-consecutive days of shade structure material deliveries. Please review the Project Manual/Specifications (including 00 73 13 Special Conditions) and Construction Drawings for full scope of work.

3. To bid on this Project, the Bidder is required to possess one or more of the following State of California contractor license(s):

A – General Engineering Contractor and/or B – General Building Contractor

The Bidder's license(s) must remain active and in good standing throughout the term of the Contract.

4. To bid on this Project, the Bidder is required to be registered as a public works contractor with the Department of Industrial Relations pursuant to the Labor Code.
5. Contract Documents will be available on or after March 12, 2025, and may be viewed and/or downloaded from the District's website at;
<http://www.solano.edu/measureq/vendor.php>
6. Sealed Formal Bids will be received until **2:00 p.m., Thursday, March 27, 2025, at Solano Community College, 4000 Suisun Valley Road, Fairfield, California 94534, Building 1102, Kitchell Trailer**, at or after which time bids will be opened and publicly read aloud. Any bid that is submitted after this time shall be non-responsive and returned to the bidder. Any claim by a bidder of error in its bid must be made in compliance with section 5100 et seq. of the Public Contract Code.

Solano Community College District
BUILDING 200 SHADE STRUCTURES AND SANDBOX PROJECT
ADDENDUM 01

If mailing, the District suggests delivery one day prior to bid date to allow for sufficient time for receiving, processing and delivery to the appropriate department. **It is each bidder's sole responsibility to ensure its bid is delivered timely and received at the location designated as specified. The District will not be responsible for errors in delivery, including not receiving bids via email under any circumstance. Any bid received at the designated location after the scheduled closing time for receipt of bids shall be returned to the bidder unopened.**

Bidders choosing to mail bids shall send them to;

Attn: Jason Yi, Project Manager
Fairfield Campus Building 200 Shade Structures and Sandbox Project, Project # 25-022
4000 Suisun Valley Road, Building 1102 (Kitchell Bond Office)
Fairfield, CA 94534

In-person Bid Opening will not be held. The Bid Opening will be conducted in the District's Board Room and will be live streamed over the internet. This will take place at approximately 2:30pm, on the bid due date. Potential bidders can view the live opening on the District's website on the following link:

<https://welcome.solano.edu/liveevents/>

7. All bids shall be on the form provided by the District. Each bid must conform and be responsive to all pertinent Contract Documents, including, but not limited to, the Instructions to Bidders.
8. A bid bond by an admitted surety insurer on the form provided by the District, or a cashier's check or a certified check, drawn to the order of the Solano Community College District, in the amount of ten percent (10%) of the total bid price, shall accompany the Bid Form and Proposal, as a guarantee that the Bidder will, within seven (7) calendar days after the date of the Notice of Award, enter into a contract with the District for the performance of the services as stipulated in the bid.
9. A **first** mandatory pre-bid conference and site visit will be held on March 20, 2025, at 12:30pm at 4000 Suisun Valley Road, Fairfield, California 94534, Building 200 (near main building entrance). **A second mandatory pre-bid meeting will be held on March 24, 2025 at 12:30pm. If a contractor has attended the first mandatory pre-bid meeting, attendance to the second meeting will not be mandatory.** Please see end of this section for map of pre-bid meeting location. As failure to attend or tardiness will render bid ineligible, we recommend all attendees arrive early to find meeting location well before start time.
10. All pre-bid questions must be submitted in writing to the Project Manager, Jason Yi, at jason.yi@solano.edu. **Pre-Bid questions must be submitted on or before 10:00am, March 21, 2025.**
11. The successful Bidder shall be required to furnish a 100% Performance Bond and a 100% Payment Bond if it is awarded the contract for the Work.

**Solano Community College District
BUILDING 200 SHADE STRUCTURES AND SANDBOX PROJECT
ADDENDUM 01**

12. The successful Bidder may substitute securities for any monies withheld by the District to ensure performance under the Contract, in accordance with the provisions of section 22300 of the Public Contract Code.
13. The Contractor and all Subcontractors under the Contractor shall pay all workers on all work performed pursuant to this Contract not less than the general prevailing rate of per diem wages and the general prevailing rate for holiday and overtime work as determined by the Director of the Department of Industrial Relations, State of California, for the type of work performed and the locality in which the work is to be performed within the boundaries of the District, pursuant to section 1770, et seq. of the California Labor Code. Prevailing wage rates are also available from the District or on the Internet at: <<http://www.dir.ca.gov>>.
14. This Project is subject to labor compliance monitoring and enforcement by the Department of Industrial Relations pursuant to Labor Code section 1771.4 and subject to the requirements of Title 8 of the California Code of Regulations. The successful Bidder shall comply with all requirements of Division 2, Part 7, Chapter 1, Articles 1-5 of the Labor Code.
15. The Contractor and all Subcontractors under the Contractor shall comply with applicable federal, State, and local requirements relating to COVID-19 or other public health emergency/epidemic/pandemic including, if required, preparing, posting, and implementing a Social Distancing Protocol.
16. The District shall award the Contract, if it awards it at all, to the lowest responsive responsible bidder based on:
 - A. The Total Bid Amount only (Total Bid Amount equals the Base Bid amount plus the 10% Owner's Allowance of Base Bid).
17. The Board reserves the right to reject any and all bids and/or waive any irregularity in any bid received. If the District awards the Contract, the security of unsuccessful bidder(s) shall be returned within sixty (60) days from the time the award is made. Unless otherwise required by law, no bidder may withdraw its bid for ninety (90) days after the date of the bid opening.

END OF DOCUMENT

OWNER-FURNISHED PRODUCTS

PART 1 – GENERAL

1.01 RELATED DOCUMENTS AND PROVISIONS

All Contract Documents should be reviewed for applicable provisions related to the provisions in this document, including without limitation:

- A. General Conditions;
- B. Special Conditions; and
- C. Materials and Equipment.

1.02 SECTION INCLUDES

- A. Requirements for the following:
 - (1) Installing Owner-furnished materials and equipment.
 - (2) Providing necessary utilities, connections and rough-ins.

1.03 DEFINITIONS

- A. Owner: District, who is providing/furnishing materials and equipment.
- B. Installing Contactor: Contractor, who is off-loading delivery of, relocating and installing the materials and equipment furnished by the Owner.

1.04 PRODUCT DELIVERY, STORAGE, AND HANDLING

- A. Receive, store and handle products in accordance with the manufacturer's instructions.
- B. Protect equipment items as required to prevent damage during storage and construction.

PART 2 – PRODUCTS

2.01 GENERAL PRODUCT REQUIREMENTS

- A. Installing Contractor's Responsibilities:
 - (1) Verify mounting and utility requirements for Owner-furnished materials and equipment items.

Provide mounting and utility rough in for all items where required.

Solano Community College District
BUILDING 200 SHADE STRUCTURES AND SANDBOX PROJECT
ADDENDUM 01

- (a) Rough in locations, sizes, capacities, and similar type items shall be as indicated and required by product manufacturer.
- B. Owner and Installing Contractor(s) Responsibilities:
 - (1) Owner-Furnished/Contractor Installed ("OFCI"): Furnished by the Owner; installed by the Installing Contractor.
 - (a) General: Owner and Installing Contractor(s) will coordinate deliveries of shade structure materials and equipment.
 - (b) Owner will furnish specified materials and equipment delivered to the site. Owner and Contractor's representatives shall be present on Site at the time of deliveries.
 - (c) The Owner furnishing specified materials and equipment is responsible to provide manufacturer guarantees as required by the Contract to the Installing Contractor.
 - (d) The Installing Contractor shall:
 - 1) Provide all equipment, materials and labor to unload owner-furnished shade structure material from delivery truck at a District approved storage location approximately 1000 feet away from project site, and relocating shade structure material from storage area to project site for installation. Contractor shall include in their proposal, equipment rated for a minimum of 5,000 lbs. to off-load material from truck, and three (3) non-consecutive days of shade structure material deliveries.
 - 2) On the day of each delivery of owner-furnished shade structure material, Contractor shall inspect and verify all materials received are as called out on Construction Documents. Contractor shall immediately notify Project Manager if any discrepancies or missing materials are discovered.
 - 3) Review, verify and accept the approved manufacturer's submittal/Shop Drawings for all materials and equipment required to be installed by the Installing Contractor and furnished by the Owner. Any discrepancies, including but not limited to possible space conflicts, should be brought to the attention of the Project Manager and/or Program Manager, if applicable.
 - 4) Coordinate timely delivery. Installing Contractor shall receive materials and equipment at Site when delivered and give written receipt at time of delivery, noting visible defects or omissions; if such declaration is not given, the Installing Contractor shall assume responsibility for such defects and omissions.

Solano Community College District
BUILDING 200 SHADE STRUCTURES AND SANDBOX PROJECT
ADDENDUM 01

- 5) Store materials and equipment until ready for installation and protect from loss and damage, **as necessary, including but not limited to, rental of temporary fencing to enclose and lock shade structure material at storage location.**
- 6) Coordinate with other bid package contractors and field measurement to ensure complete installation.
- 7) Uncrate, assemble, and set in place.
- 8) Provide adequate supports.
- 9) Install materials and equipment in accordance with manufacturer's recommendations, instructions, and Shop Drawings, supply labor and material required, and make mechanical, plumbing, and electrical connections required to operate equipment.
- 10) Be certified by equipment manufacturer for installation of the specific equipment supplied by the Owner.
- 11) Provide anchorage and/or bracing as required for seismic restraint per Title 24, UBC Standard 27-11 and all other applicable codes.
- 12) Provide the contract-required warranty and guarantee for all work, materials and equipment, and installation upon its completion and acceptance by the District. Guarantee includes all costs associated with the removal, shipping to and from the Site, and re-installation of any equipment found to be defective.

C. Compatibility with Space and Service Requirements:

- (1) Equipment items shall be compatible with space limitations indicated and as shown on the Contract Documents and specified in other sections of the Specifications.
- (2) Modifications to equipment items required to conform to space limitations specified for rough in shall not cause additional cost to the District.

D. Manufacturer's printed descriptions, specifications, and instructions shall govern the Work unless specifically indicated or specified otherwise.

2.02 FURNISHED MATERIALS AND EQUIPMENT

- A. All furnished materials and equipment are indicated or scheduled on the Contract Documents.

PART 3 – EXECUTION

3.01 INSTALLATION

- A. Install equipment items in accordance with the manufacturer's instructions.
- B. Set equipment items securely in place, rigidly or flexibly mounted in accordance with manufacturers' directions.
- C. Make electrical and mechanical connections as indicated and required.
- D. Touch-up and restore damaged or defaced finishes to the Owner's satisfaction.

3.02 CLEANING AND PROTECTION

- A. Repair or replace items not acceptable to the Architect or Owner.
- B. Upon completion of installation, clean equipment items in accordance with manufacturer's recommendations, and protect from damage until final acceptance of the Work by the Owner.

END OF DOCUMENT